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NOTES

- 1. Do not scale drawing. Written dimensions govern
- 2. All dimensions are in millimeters unless noted otherwise
- All dimensions shall be verified on site before proceeding with the work.
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- This drawing must be read in conjunction with all relevant contracts, specifications and drawings

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REV DESCRIPTION

DATE02/11/2022
13/06/2023

FOR SSDA2 RTS

SYMBOL

SOFTWORKS LEGEND

PL01 PL01

PL02

PLANTING TYPE 1 - PLANTING ON FLAT/GENTLE SLOPE GREEN ROOF

DESCRIPTION

DEPTH: 200-400mm

PLANTING TYPE 2 - TERRACE
PLANTING ON STEEP SLOPE

PLANTING ON STEEP SLOPE
DEPTH: 200mm

PL03

PLANTING TYPE 3 - LOW PLANTING
ON GREEN ROOF
DEPTH: 200mm

PLO4

PLANTING TYPE 4 - PRIVATE +

COMMUNAL OPEN SPACE PLANTING

DEPTH: 400-1000mm

FOR MIX, POT SIZE & RATES REFER PLANTING SCHEDULES

MAINTENANCE ACCESS

CODE SYMBOL DESCRIPTION

- - RIGID RAIL SYSTEM
- - STATIC LINE SYSTEM

RAIL MOUNTED ROOF JOCKEY COVERAGE AREA

ROLLING JOCKEY COVERAGE AREA



SCALE

NORTH

0 10m 20m 30m 40

CLIENT



PROJECT

MIRVAC HARBOURSIDE

2-10 DARLING DRIVE, SYDNEY, NSW 2000

DRAWING TITLE

GENERAL ARRANGEMENT PLAN - L5 AMENITIES

REVIEWED SW SCALE @ A1
As indicated

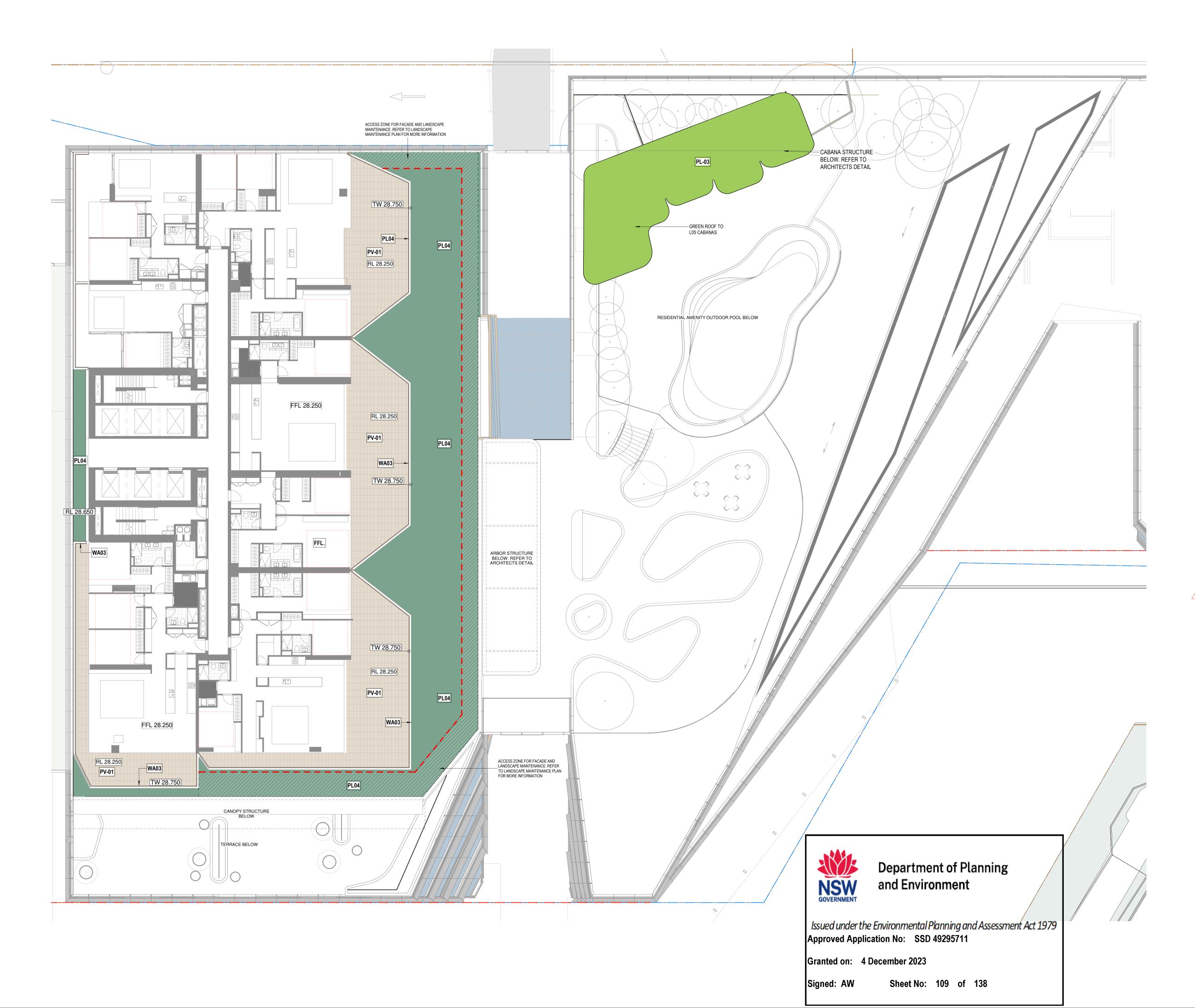
APPROVED

PROJECT NO. 016133-61A-P

DRAWING NO.

REV NO.

LA-SSDA2- 1151_00



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REV DESCRIPTION

02/11/2022 FOR SSDA2 RTS 13/06/2023

SOFTWORKS LEGEND

PL01

SYMBOL DESCRIPTION

> PLANTING TYPE 1 - PLANTING ON FLAT/GENTLE SLOPE GREEN ROOF DEPTH: 200-400mm

PLANTING TYPE 2 - TERRACE PLANTING ON STEEP SLOPE

DEPTH: 200mm

PL03 PLANTING TYPE 3 - LOW PLANTING ON GREEN ROOF DEPTH: 200mm

PLANTING TYPE 4 - PRIVATE +

COMMUNAL OPEN SPACE PLANTING DEPTH: 400-1000mm

FOR MIX, POT SIZE & RATES REFER PLANTING SCHEDULES

MAINTENANCE ACCESS

CODE SYMBOL DESCRIPTION

RIGID RAIL SYSTEM

STATIC LINE SYSTEM

RAIL MOUNTED ROOF JOCKEY COVERAGE AREA

ROLLING JOCKEY COVERAGE AREA

NORTH



SCALE

CLIENT



PROJECT

MIRVAC HARBOURSIDE

2-10 DARLING DRIVE, SYDNEY, NSW 2000

DRAWING TITLE

GENERAL ARRANGEMENT PLAN - L6 TERRACE

REVIEWED

SCALE @ A1 As indicated

APPROVED

PROJECT NO. 016133-61A-P

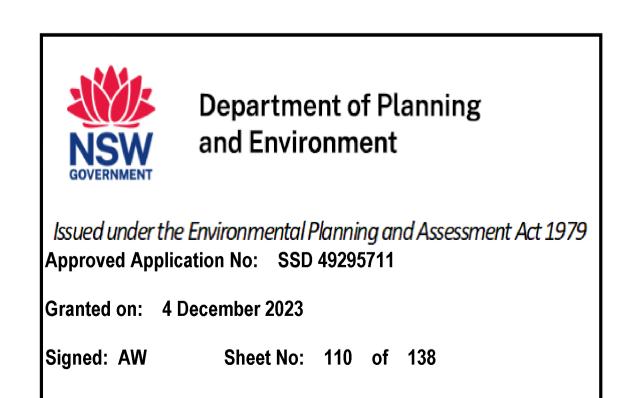
DRAWING NO.

REV NO.

LA-SSDA2- 1152_00

NOTE: LEVEL 48 PENTHOUSE TERRACE SUBJECT TO FURTHER DESIGN DEVELOPMENT





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DATE

02/11/2022

13/06/2023

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REV DESCRIPTION

FOR SSDA2 APPROVAL

FOR SSDA2 RTS

SOFTWORKS LEGEND SYMBOL DESCRIPTION

PL01

PLANTING TYPE 1 - PLANTING ON FLAT/GENTLE SLOPE GREEN ROOF DEPTH: 200-400mm

PLANTING TYPE 2 - TERRACE PLANTING ON STEEP SLOPE PL02 DEPTH: 200mm

PL03

PLANTING TYPE 3 - LOW PLANTING ON GREEN ROOF DEPTH: 200mm

PLANTING TYPE 4 - PRIVATE + COMMUNAL OPEN SPACE PLANTING DEPTH: 400-1000mm

FOR MIX, POT SIZE & RATES REFER PLANTING SCHEDULES

NORTH



SCALE



CLIENT



PROJECT

MIRVAC HARBOURSIDE

2-10 DARLING DRIVE, SYDNEY, NSW 2000

DRAWING TITLE

GENERAL ARRANGEMENT PLAN - L48 PENTHOUSE TERRACE

REVIEWED

SCALE @ A1 1:100

APPROVED

PROJECT NO. 016133-61A-P

DRAWING NO.

REV NO.

LA-SSDA2- 1153_00



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- 4. This drawing must be read in conjunction with all relevant contracts, specifications and drawings

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02/11/2022 13/06/2023

PLANTING TYPE 1 - PLANTING ON FLAT/GENTLE SLOPE GREEN ROOF

PLANTING TYPE 2 - TERRACE PLANTING ON STEEP SLOPE

PLANTING TYPE 4 - PRIVATE +
COMMUNAL OPEN SPACE PLANTING

FOR MIX, POT SIZE & RATES REFER PLANTING SCHEDULES

RIGID RAIL SYSTEM STATIC LINE SYSTEM

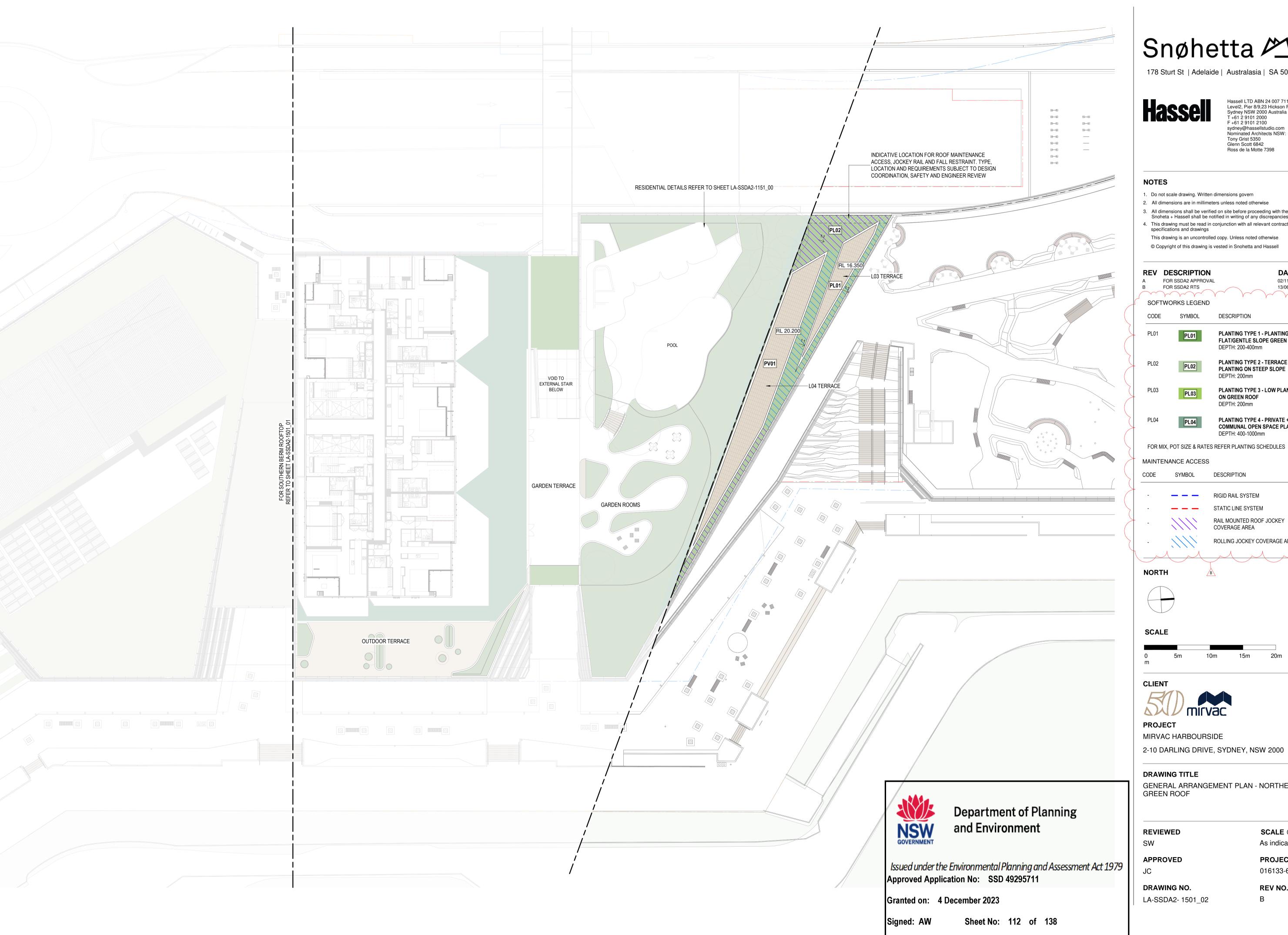
ROLLING JOCKEY COVERAGE AREA

GENERAL ARRANGEMENT PLAN - SOUTHERN

SCALE @ A1 As indicated

> PROJECT NO. 016133-61A-P

REV NO.



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REV DESCRIPTION FOR SSDA2 APPROVAL

FOR SSDA2 RTS

SOFTWORKS LEGEND

SYMBOL

DESCRIPTION

FLAT/GENTLE SLOPE GREEN ROOF DEPTH: 200-400mm PLANTING TYPE 2 - TERRACE

PLANTING TYPE 1 - PLANTING ON

02/11/2022

13/06/2023

PLANTING ON STEEP SLOPE DEPTH: 200mm PLANTING TYPE 3 - LOW PLANTING

ON GREEN ROOF DEPTH: 200mm

PLANTING TYPE 4 - PRIVATE +
COMMUNAL OPEN SPACE PLANTING

DEPTH: 400-1000mm

MAINTENANCE ACCESS

CODE SYMBOL DESCRIPTION RIGID RAIL SYSTEM STATIC LINE SYSTEM

RAIL MOUNTED ROOF JOCKEY COVERAGE AREA ROLLING JOCKEY COVERAGE AREA





SCALE



MIRVAC HARBOURSIDE

2-10 DARLING DRIVE, SYDNEY, NSW 2000

DRAWING TITLE

GENERAL ARRANGEMENT PLAN - NORTHERN **GREEN ROOF**

REVIEWED

SCALE @ A1 As indicated

REV NO.

APPROVED

PROJECT NO. 016133-61A-P

DRAWING NO.

LA-SSDA2- 1501_02

HARBOURSIDE CIVIL WORKS PACKAGE

SSDA2



Department of Planning and Environment

Issued under the Environmental Planning and Assessment Act 1979 Approved Application No: SSD 49295711

Granted on: 4 December 2023

Sheet No: 113 of 138 Signed: AW



AND THE RESERVE OF THE PROPERTY OF THE PARTY LOCATION OF WORKS COCKLE BAY WHARF STREET DARLING COCKLE
HARBOUR / BAY WHARF
DARLING
TUMBALONG HARBOUR MARINA BAY WHARF CONVENTION SLR STOP INTERNATIONAL CONVENTION CENTRE

LOCALITY PLAN
N.T.S

DRAWING NUMBER

DRAWING TITLE

GENERAL	
GENERAL	
CIV-DWG-OA-2000	COVER SHEET, DRAWING LIST AND LOCALITY PLAN
CIV-DWG-OA-2001	GENERAL NOTES AND LEGENDS
CIV-DWG-OA-2003	GENERAL ARRANGEMENT PLAN
SITEWORKS	
CIV-DWG-OA-2101	SITEWORKS AND STORMWATER DRAINAGE PLAN SHEET 1
CIV-DWG-OA-2102	SITEWORKS AND STORMWATER DRAINAGE PLAN SHEET 2
CIV-DWG-OA-2103	SITEWORKS AND STORMWATER DRAINAGE PLAN SHEET 3
CIV-DWG-OA-2104	SITEWORKS AND STORMWATER DRAINAGE PLAN SHEET 4
STORMWATER DRAINAGE	
CIV-DWG-OA-2501	STORMWATER MUSIC CATCHMENT PLAN
EROSION AND SEDIMENT CONTROL	
CIV-DWG-OA-2601	EROSION AND SEDIMENT CONTROL PLAN
CIV-DWG-OA-2602	EROSION AND SEDIMENT CONTROL DETAILS

Bar Scales ISSUED FOR RTS 26-06-23 03-03-23 ISSUE FOR APPROVAL 05-11-22 ISSUE FOR APPROVAL ISSUE FOR APPROVAL 04-11-22

Date

Description

THIS DRAWING CANNOT BE COPIED OR REPRODUCED IN ANY FORM OR USED FOR ANY OTHER PURPOSE OTHER THAN THAT ORIGINALLY INTENDED WITHOUT THE WRITTEN PERMISSION OF AT&L



Client

Scales NTS	Drawn	СК	Projec
NIS	Designed	СК	
Grid GDA20 MGA56	Checked	GJ	
Height AHD	Approved	AT	

SSD 7874 SSD 49259711

MIRVAC
HARBOURSIDE
2-10 DARLING DRIVE
SYDNEY

COVER SHEET, DRAWING LIST AND LOCALITY PLAN

Civil Engineers and Proje	ect Managers
	Level 7, 153 North Sydne



FOR APPROVAL	
NOT TO BE USED FOR CONSTRUCTION	
Project - Drawing No.	
CIV-DWG-OA-2000	

www.atl.net.au info@atl.net.au

SURVEY NOTES

THE EXISTING SITE CONDITIONS SHOWN ON THE FOLLOWING DRAWINGS HAVE BEEN INVESTIGATED BY LINKER SURVEYING, BEING REGISTERED SURVEYORS. THE INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN. AT & L DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE SURVEY BASE OR ITS SUITABILITY AS A BASIS FOR CONSTRUCTION DRAWINGS.

SHOULD DISCREPANCIES BE ENCOUNTERED DURING CONSTRUCTION BETWEEN THE SURVEY DATA AND ACTUAL FIELD DATA, CONTACT AT & L.

THE FOLLOWING NOTES HAVE BEEN TAKEN DIRECTLY FROM THE ORIGINAL SURVEY DOCUMENTS.

TYPICAL NOTES

- CONTOURS SHOWN DEPICT THE APPROXIMATE TOPOGRAPHY, SPOT LEVELS SHOULD BE TAKEN IN PREFERENCE TO CONTOURS. CONTOURS DO NOT REPRESENT THE EXACT LEVEL AT ANY POINT. ALL LEVELS SHOULD BE CONFIRMED ON SITE PRIOR TO EXCAVATION OR CONSTRUCTION.
- SOME SPOT LEVELS HAVE BEEN REMOVED FROM THE FACE OF THIS PLAN FOR CLARITY. ADDITIONAL SPOT LEVELS ARE AVAILABLE IN THE ELECTRONIC VERSION OF THIS PLAN FOR MORE DETAILED DESIGN
- BEVERIDGE WILLIAM'S SURVEY DATA HAS BEEN DIGITISED FROM POINT CLOUD DATA OBTAINED FROM 3D LASER SCANNING SURVEY TECHNIQUES. ADDITIONAL SURVEY DATA IS AVAILABLE IN THE POINT CLOUD ACCOMPANYING THIS PLAN FOR MORE DETAILED DESIGN WORKS.
- SURVEY DATA SHOWN IN GREY HAS BEEN OBTAINED FROM SURVEY UNDERTAKEN BY RYGATE SURVEYORS PLAN REFERENCE 77266 DATED
- BOUNDARIES SHOWN ON THIS PLAN ARE BASED ON PLANS AVAILABLE ON PUBLIC RECORD AT TIME OF SURVEY AND PRELIMINARY SURVEY INVESTIGATIONS ONLY. ALL BOUNDARY DIMENSIONS ARE BY TITLE ONLY AND SUBJECT TO FINAL SURVEY.
- THE RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL, THEY SHOULD BE CONFIRMED BY FURTHER SURVEY. PRIOR TO CONSTRUCTION BOUNDARIES SHOULD BE MARKED.
- SERVICES STRUCTURES HAVE BEEN LOCATED WHERE VISIBLE ONLY, ALL SERVICES SHOULD BE LOCATED BY THE RELEVANT AUTHORITY PRIOR TO ANY DESIGN, EXCAVATION OR CONSTRUCTION WORKS.
- TREE CANOPIES ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED FROM POINT CLOUD IF CRITICAL TO DESIGN.
- THIS PLAN HAS BEEN PREPARED FOR THE PURPOSE OF ASSISTING FUTURE DESIGN WORKS AND SHOULD NOT BE USED FOR ANYTHING OTHER THAN THAT PURPOSE.

SERVICES NOTES

UNDERGROUND SERVICES NOTES: ALIGNED WITH THE QUALITY LEVELS (QL) DEFINED IN AS5488 'CLASSIFICATION OF SUBSURFACE UTILITY INFORMATION (SUI)', LOCATERS 'UTILITY POSITIONING CLASSIFICATION' (UPC) PROVIDES A GUIDE TO THE CERTAINTY OF A UTILITIES' POSITION BASED ON THE POSITIONING METHOD USED. AS THE CERTAINTY OF A UTILITY'S POSITION INCREASES THE RISK OF CONFLICT DECREASES HOWEVER IT CAN NOT BE ELIMINATED. WE CANNOT ACCEPT RESPONSIBILITY FOR DAMAGES AS WE ARE ENGAGED TO HELP MINIMISE YOUR RISK,

ALL RISK REMAINS WITH THE CUSTOMER.

UTILITIES INDICATED AS CLASS "B", "C"&"D" MAY BE INACCURATE IN BOTH VERTICAL & HORIZONTAL ALIGNMENTS.

UTILITY LINES PLOTTED ARE INTERPOLATED BETWEEN POINTS THAT HAVE BEEN GENERATED DURING THE UTILITY INVESTIGATION PROCESS. THE UPC IS SPECIFIC TO THE <u>POINT</u> AT WHICH IT IS INSERTED ON A LINE AND IS NOT A CLASSIFICATION OF THE LINE ITSELF.

ALL SERVICES ARE CLASS 'D' UNLESS OTHERWISE SHOWN

NSV

Department of Planning and Environment

Issued under the Environmental Planning and Assessment Act 1979 Approved Application No: SSD 49295711

Description

Granted on: 4 December 2023

ISSUED FOR RTS

ISSUE FOR APPROVAL

ISSUE FOR APPROVAL

ISSUE FOR APPROVAL

Signed: AW Sheet No: 114 of 138

CONCRETE NOTES

- 1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600 CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- 2. CONCRETE QUALITY ALL REQUIREMENTS OF THE CURRENT ACSE CONCRETE SPECIFICATION DOCUMENT 1 SHALL APPLY TO THE FORMWORK, REINFORCEMENT AND CONCRETE UNLESS NOTED OTHERWISE.

ELEMENT	AS 3600 F'c MPa AT 28 DAYS	SPECIFIED SLUMP	NOMINAL AGG. SIZE
VEHICULAR BASE	32	60	20
KERBS, PATHS, AND PITS	32	80	20

- CEMENT TYPE SHALL BE (ACSE SPECIFICATION) TYPE SL - PROJECT CONTROL TESTING SHALL BE CARRIED OUT IN ACCORDANCE **WITH AS 1379**
- 3. NO ADMIXTURES SHALL BE USED IN CONCRETE UNLESS APPROVED IN WRITING BY AT & L.
- 4. CLEAR CONCRETE COVER TO ALL REINFORCEMENT FOR DURABILITY SHALL BE 40mm TOP AND 70mm FOR EXTERNAL EDGES UNLESS NOTED OTHERWISE.
- 5. ALL REINFORCEMENT SHALL BE FIRMLY SUPPORTED ON MILD STEEL PLASTIC TIPPED CHAIRS, PLASTIC CHAIRS OR CONCRETE CHAIRS AT NOT GREATER THAN 1m CENTRES BOTH WAYS. BARS SHALL BE TIED AT ALTERNATE INTERSECTIONS.
- 6. THE FINISHED CONCRETE SHALL BE A DENSE HOMOGENEOUS MASS. COMPLETELY FILLING THE FORMWORK, THOROUGHLY EMBEDDING THE REINFORCEMENT AND FREE OF STONE POCKETS. ALL CONCRETE INCLUDING SLABS ON GROUND AND FOOTINGS SHALL BE COMPACTED AND CURED IN ACCORDANCE WITH R.M.S. SPECIFICATION R83.
- 7. REINFORCEMENT SYMBOLS:
- N DENOTES GRADE 450 N BARS TO AS 1302 GRADE N R DENOTES 230 R HOT ROLLED PLAIN BARS TO AS 1302
- SL DENOTES HARD-DRAWN WIRE REINFORCING FABRIC TO AS 1304

NUMBER OF BARS IN GROUP BAR GRADE AND TYPE

17 N 20 250

NOMINAL BAR SIZE IN mm — SPACING IN mm

THE FIGURE FOLLOWING THE FABRIC SYMBOL SL IS THE REFERENCE NUMBER FOR FABRIC TO AS 1304.

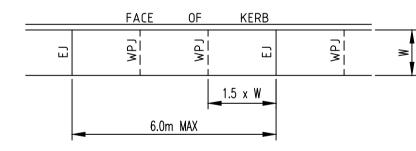
8. FABRIC SHALL BE LAPPED IN ACCORDANCE WITH THE FOLLOWING



JOINTING NOTES

PEDESTRIAN PAVEMENT JOINTS

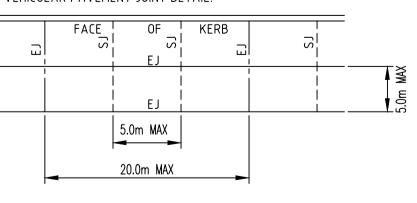
- 1. ALL PEDESTRIAN PAVEMENTS ARE TO BE JOINTED AS FOLLOWS. (U.N.O) 2. EXPANSION JOINTS ARE TO BE LOCATED WHERE POSSIBLE AT TANGENT
- POINTS OF CURVES AND ELSEWHERE AT MAX. 6.0m CENTRES. 3. WEAKENED PLANE JOINTS ARE TO BE LOCATED AT A MAX. SPACING OF 1.5 x WIDTH OF THE PAVEMENT.
- 4. WHERE POSSIBLE JOINTS SHOULD BE LOCATED TO MATCH KERBING AND OR ADJACENT PAVEMENT JOINTS
- 5. PEDESTRIAN PAVEMENT JOINT DETAIL.



NB: CHECK RELEVANT COUNCIL REQUIREMENTS IF IN PUBLIC ROAD. VEHICULAR PAVEMENT JOINTS

6. ALL VEHICULAR PAVEMENTS TO BE JOINTED AS FOLLOWS. (U.N.O)

- 7. KEYED CONSTRUCTION JOINTS SHOULD GENERALLY BE LOCATED AT A MAX OF 5.0m CENTRES
- 8. SAWN JOINTS SHOULD GENERALLY BE LOCATED AT A MAX OF 5.0m CENTRES WITH DOWELED EXPANSION JOINTS AT MAX 20.0m CENTRES
- 9. VEHICULAR PAVEMENT JOINT DETAIL



SITEWORKS NOTES

- 1. ORIGIN OF LEVELS:- REFER SURVEY NOTES.
 - 2. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES TO BE REPORTED TO AT & L.
 - 3. MAKE SMOOTH CONNECTION WITH EXISTING WORKS.
- 4. ALL TRENCH BACKFILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT MATERIAL.
- 5. ALL SERVICE TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACKFILLED WITH SAND TO 300mm ABOVE PIPE. WHERE PIPE IS UNDER PAVEMENTS BACKFILL REMAINDER OF TRENCH TO UNDERSIDE OF PAVEMENT WITH SAND OR APPROVED GRANULAR MATERIAL COMPACTED IN 150mm LAYERS TO MINIMUM 98% MODIFIED MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 5.2.1. (OR A DENSITY INDEX OF NOT LESS THAN 75)
- 6. PROVIDE 10mm WIDE EXPANSION JOINTS BETWEEN BUILDINGS AND ALL CONCRETE OR UNIT PAVEMENTS.
- 7. ASPHALTIC CONCRETE SHALL CONFORM TO R.M.S. SPECIFICATION R116.
- 8. ALL BASECOURSE MATERIAL SHALL BE IGNEOUS ROCK QUARRIED MATERIAL TO COMPLY WITH R.M.S. FORM 3051 (UNBOUND), R.M.S. FORM 3052 (BOUND) COMPACTED TO MINIMUM 98% MODIFIED DENSITY IN ACCORDANCE WITH AS 1289 5.2.1 FREQUENCY OF COMPACTION TESTING SHALL NOT BE LESS THAN 1

TEST PER 50m OF BASECOURSE MATERIAL PLACED.

- 9. ALL SUB-BASE COURSE MATERIAL SHALL BE IGNEOUS ROCK QUARRIED MATERIAL TO COMPLY WITH R.M.S. FORM 3051, 3051.1 AND COMPACTED TO MINIMUM 95% MODIFIED DENSITY IN ACCORDANCE WITH A.S 1289 5.2. FREQUENCY OF COMPACTION TESTING SHALL NOT BE LESS THAN 1
- 10. AS AN ALTERNATIVE TO THE USE OF IGNEOUS ROCK AS A SUB-BASE MATERIAL IN (9) A CERTIFIED RECYCLED CONCRETE MATERIAL COMPLYING WITH R.M.S. FORM 3051 AND 3051.1 WILL BE CONSIDERED. SUBJECT TO MATERIAL SAMPLES AND APPROPRIATE CERTIFICATIONS

TEST PER 50m³OF SUB-BASE COURSE MATERIAL PLACED.

BEING PROVIDED TO THE SATISFACTION OF AT & L.

- 11. SHOULD THE CONTRACTOR WISH TO USE A RECYCLED PRODUCT THIS SHALL BE CLEARLY INDICATED IN THEIR TENDER AND THE PRICE DIFFERENCE BETWEEN AN IGNEOUS PRODUCT AND A RECYCLED PRODUCT SHALL BE CLEARLY INDICATED.
- 12. WHERE NOTED ON THE DRAWINGS THAT WORKS ARE TO BE CARRIED BY OTHERS, (eg. ADJUSTMENT OF SERVICES), THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CO-ORDINATION OF THESE WORKS.

STORMWATER DRAINAGE NOTES

- 1. STORMWATER DESIGN CRITERIA: (A) AVERAGE RECURRENCE INTERVAL: 1:100 YEARS ROOFED AREAS TO SURCHARGE PIT 1:20 YEARS EXTERNAL PAVEMENTS
- (B) RAINFALL INTENSITIES: TIME OF CONCENTRATION: 5 MINUTES 1:100 YEARS= 269.5 mm/hr 1:20 YEARS= 210.7 mm/hr (C) RUNOFF COEFFICIENTS:
- ROOF AREAS: EXTERNAL PAVEMENTS: C20 2. PIPES 300 DIA. AND LARGER TO BE REINFORCED CONCRETE MARINE GRADE
- OVED SPIGOT AND SOCKET WITH RUBBER RING JOINTS, U.N.O. B. PIPES UP TO 300 DIA SHALL BE SEWER GRADE uPVC WITH SOLVENT WELDED JOINTS.
- 4. EQUIVALENT STRENGTH VCP OR FRC PIPES MAY BE USED.
- 5. ALL STORMWATER DRAINAGE LINES UNDER PROPOSED BUILDING SLABS TO BE uPVC PRESSURE PIPE GRADE 6 U.N.O. ENSURE ALL VERTICALS AND DOWNPIPES ARE uPVC PRESSURE PIPE, GRADE 6 FOR A MIN OF 3.0m
- 5. PIPES TO BE INSTALLED TO TYPE HS3 SUPPORT IN ACCORDANCE WITH AS 3725 (2007) IN ALL CASES BACKFILL TRENCH WITH SAND TO 300mm ABOVE PIPE. WHERE PIPE IS UNDER PAVEMENTS BACKFIL REMAINDER OF TRENCH TO UNDERSIDE OF PAVEMENT WITH SAND OR APPROVED GRANULAR MATERIAL COMPACTED IN 150mm LAYERS TO MINIMUM 98% STANDARD MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 5.2.1. (OR A DENSITY INDEX OF NOT LESS THAN 75)
- 7. ALL INTERNAL WORKS WITHIN PROPERTY BOUNDARIES ARE TO COMPLY WITH THE REQUIREMENTS OF AS 3500 3.1 (1998) AND AS/NZS 3500 3.2
- 8. PRECAST PITS MAY BE USED EXTERNAL TO THE BUILDING SUBJECT TO APPROVAL BY AT & L.
- 9. ENLARGERS, CONNECTIONS AND JUNCTIONS TO BE PREFABRICATED FITTINGS WHERE PIPES ARE LESS THAN 300 DIA.
- 10. WHERE SUBSOIL DRAINS PASS UNDER FLOOR SLABS AND VEHICULAR PAVEMENTS, UNSLOTTED uPVC SEWER GRADE PIPE IS TO BE USED. 1. CARE IS TO BE TAKEN WITH LEVELS OF STORMWATER LINES. GRADES SHOWN ARE NOT TO BE REDUCED WITHOUT APPROVAL
- 12. GRATES AND COVERS SHALL CONFORM TO AS 3996. 13. AT ALL TIMES DURING CONSTRUCTION OF STORMWATER PITS, ADEQUATE
- SAFETY PROCEDURES SHALL BE TAKEN TO ENSURE AGAINST THE POSSIBILITY OF PERSONNEL FALLING DOWN PITS. 4. ALL EXISTING STORMWATER DRAINAGE LINES AND PITS THAT ARE TO REMAIN ARE TO BE INSPECTED AND CLEANED. DURING THIS PROCESS ANY PART OF THE STORMWATER DRAINAGE SYSTEM THAT WARRANTS

REPAIR SHALL BE REPORTED TO THE SUPERINTENDENT/ENGINEER

5. ALL EXISTING PIT LIDS WITH GAPS GREATER THAN 13mm WIDE x 150mm LONG WILL NEED TO BE REPLACED WITH HEELPROOF GRATES OF AN EQUIVALENT LOADING CLASS.

FOR FURTHER DIRECTIONS.

EROSION AND SEDIMENT CONTROL

NOTES

- GENERAL INSTRUCTIONS 1. THE SITE SUPERINTENDENT/ENGINEER WILL ENSURE THAT ALL SOIL
- AND WATER MANAGEMENT WORKS ARE LOCATED AS DOCUMENTED. 2. ALL WORK SHALL BE GENERALLY CARRIED OUT IN ACCORDANCE WITH a. LOCAL AUTHORITY REQUIREMENTS
- b. EPA REQUIREMENTS c. NSW DEPARTMENT OF HOUSING MANUAL "MANAGING URBAN STORMWATER, SOILS AND CONSTRUCTION", 4th EDITION, MARCH
- 3. MAINTAIN THE EROSION CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT AND THE LOCAL AUTHORITY.
- 4. WHEN STORMWATER PITS ARE CONSTRUCTED, PREVENT SITE RUNOFF ENTERING UNLESS SEDIMENT FENCES ARE ERECTED AROUND PITS.
- 5. CONTRACTOR IS TO ENSURE ALL EROSION & SEDIMENT CONTROL DEVICES ARE MAINTAINED IN GOOD WORKING ORDER AND OPERATE EFFECTIVELY. REPAIRS AND OR MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED. PARTICULARLY FOLLOWING STORM EVENTS.

LAND DISTURBANCE

- 6. WHERE PRACTICAL, THE SOIL EROSION HAZARD ON THE SITE WILL BE KEPT AS LOW AS POSSIBLE. TO THIS END, WORKS SHOULD BE UNDERTAKEN IN THE FOLLOWING SEQUENCE:
- (A) INSTALL A WIND FENCE ALONG THE BOUNDARIES AS SHOWN ON PLAN. REFER DETAIL.
- (B) INSTALL A SEDIMENT FENCE ALONG THE BOUNDARIES AS SHOWN ON PLAN. REFER DETAIL
- (C) CONSTRUCT STABILISED CONSTRUCTION ENTRANCE TO LOCATION AS DETERMINED BY SUPERINTENDENT/ENGINEER. REFER
- (D) INSTALL SEDIMENT BASIN AS SHOWN ON PLAN
- (E) INSTALL SEDIMENT TRAPS AS SHOWN ON PLAN.
- (F) UNDERTAKE SITE DEVELOPMENT WORKS IN ACCORDANCE WITH THE ENGINEERING PLANS. WHERE POSSIBLE, PHASE DEVELOPMENT SO THAT LAND DISTURBANCE IS CONFINED TO AREAS OF WORKABLE SIZE.

EROSION CONTROL

- 7. DURING WINDY WEATHER, LARGE, UNPROTECTED AREAS WILL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER
- 8. FINAL SITE LANDSCAPING WILL BE UNDERTAKEN AS SOON AS POSSIBLE AND WITHIN 20 WORKING DAYS FROM COMPLETION OF CONSTRUCTION ACTIVITIES.

SEDIMENT CONTROL

- 9. STOCKPILES WILL NOT BE LOCATED WITHIN 2 METRES OF HAZARD AREAS, INCLUDING LIKELY AREAS OF CONCENTRATED OR HIGH VELOCITY FLOWS SUCH AS WATERWAYS. WHERE THEY ARE BETWEEN 2 AND 5 METRES FROM SUCH AREAS, SPECIAL SEDIMENT CONTROL MEASURES SHOULD BE TAKEN TO MINIMISE POSSIBLE POLLUTION TO DOWNSLOPE WATERS, E.G. THROUGH INSTALLATION OF SEDIMENT FENCING.
- 0. ANY SAND USED IN THE CONCRETE CURING PROCESS (SPREAD OVER THE SURFACE) WILL BE REMOVED AS SOON AS POSSIBLE AND WITHIN 10 WORKING DAYS FROM PLACEMENT.
- 11. WATER WILL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS IT IS RELATIVELY SEDIMENT FREE, I.E. THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR ANY LIKELY SEDIMENT HAS BEEN FILTERED THROUGH AN APPROVED
- 12. TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES WILL BE REMOVED ONLY AFTER THE LANDS THEY ARE PROTECTING ARE REHABILITATED.

OTHER MATTERS

- 13. ACCEPTABLE RECEPTORS WILL BE PROVIDED FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER.
- 14. ANY EXISTING TREES WHICH FORM PART OF THE FINAL LANDSCAPING PLAN WILL BE PROTECTED FROM CONSTRUCTION ACTIVITIES BY:
- (A) PROTECTING THEM WITH BARRIER FENCING OR SIMILAR MATERIALS INSTALLED OUTSIDE THE DRIP LINE
- (B) ENSURING THAT NOTHING IS NAILED TO THEM
- (C) PROHIBITING PAVING, GRADING, SEDIMENT WASH OR PLACING OF STOCKPILES WITHIN THE DRIP LINE EXCEPT UNDER THE FOLLOWING CONDITIONS.
- (I) ENCROACHMENT ONLY OCCURS ON ONE SIDE AND NO CLOSER TO THE TRUNK THAN EITHER 1.5 METRES OR HALF THE DISTANCE BETWEEN THE OUTER EDGE OF THE DRIP LINE AND THE TRUNK, WHICH EVER IS THE GREATER
- (II) A DRAINAGE SYSTEM THAT ALLOWS AIR AND WATER TO CIRCULATE THROUGH THE ROOT ZONE (E.G. A GRAVEL BED) IS PLACED UNDER ALL FILL LAYERS OF MORE THAN 300 MILLIMETRES DEPTH
- (III) CARE IS TAKEN NOT TO CUT ROOTS UNNECESSARILY NOR TO COMPACT THE SOIL AROUND THEM.

KERBING NOTES

- 1. ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF N25 U.N.O IN REINFORCED CONCRETE NOTES.
- 2. ALL KERBS, GUTTERS, DISH DRAINS AND CROSSINGS TO BE CONSTRUCTED ON 100mm GRANULAR BASECOURSE COMPACTED TO MINIMUM 95% MODIFIED DRY DENSITY (AS 1289 5.2.1).
- 3. EXPANSION JOINTS (E.J) TO BE FORMED FROM 10mm COMPRESSIBLE CORK FILLER BOARD FOR THE FULL DEPTH OF THE SECTION AND CUT TO PROFILE. EXPANSION JOINTS TO BE LOCATED AT DRAINAGE PITS, ON TANGENT POINTS OF CURVES AND ELSEWHERE AT MAX 12m CENTRES EXCEPT FOR INTEGRAL KERBS WHERE THE EXPANSION JOINTS ARE TO MATCH THE JOINT LOCATIONS IN THE SLABS.
- 4. WEAKENED PLANE JOINTS TO BE MIN 3mm WIDE AND LOCATED AT 3m CENTRES EXCEPT FOR INTEGRAL KERBS WHERE THE WEAKENED PLANE JOINTS ARE TO MATCH THE JOINT LOCATIONS IN THE SLABS.
- 5. BROOMED FINISH TO ALL RAMPED AND VEHICULAR CROSSINGS. ALL OTHER KERBING OR DISH DRAINS TO BE STEEL FLOAT FINISHED.
- 6. IN THE REPLACEMENT OF KERB AND GUTTER :-EXISTING ROAD PAVEMENT IS TO BE SAWCUT 900mm U.N.O FROM THE LIP OF GUTTER, UPON COMPLETION OF THE NEW KERB AND GUTTER NEW BASECOURSE AND SURFACE TO BE LAID 900mm WIDE U.N.O.
- EXISTING ALLOTMENT DRAINAGE PIPES ARE TO BE BUILT INTO THE NEW KERB AND GUTTER WITH 100mm DIA HOLE.
- EXISTING KERB AND GUTTER IS TO BE COMPLETELY REMOVED WHERE NEW KERB AND GUTTER IS SHOWN.

BULK EARTHWORKS NOTES

- 1. ORIGIN OF LEVELS: REFER SURVEY NOTES
- 2. STRIP ALL TOPSOIL/ORGANIC MATERIAL FROM CONSTRUCTION AREA AND REMOVE FROM SITE OR STOCK PILE AS DIRECTED BY SUPERINTENDENT.
- 3. EXCAVATED MATERIAL TO BE USED AS STRUCTURAL FILL PROVIDED THE PLACEMENT MOISTURE CONTENT OF THE MATERIAL IS +/- 2% OF THE OPTIMUM MOISTURE CONTENT.
- 4. COMPACT FILL AREAS AND SUBGRADE TO NOT LESS THAN: LOCATION STANDARD DRY DENSITY
- (AS 1289 E 5.1.1.) UNDER BUILDING SLABS
- ON GROUND UNDER ROADS AND
- LANDSCAPED AREAS UNLESS NOTED OTHERWISE 98% 5. FOR NON COHESIVE MATERIAL, COMPACT TO 75% DENSITY INDEX.
- 6. BEFORE PLACING FILL. PROOF ROLL EXPOSED SUBGRADE WITH AN 8 TONNE (MIN) DEADWEIGHT SMOOTH DRUM VIBRATORY ROLLER TO DETECT THEN REMOVE SOFT SPOTS (AREAS WITH MORE THAN 2mm MOVEMENT UNDER ROLLER).
- 7. FREQUENCY OF COMPACTION TESTING SHALL BE NOT LESS THAN :-(A) 1 TEST PER 200m³ OF FILL PLACED PER 300 LAYER OF FILL.
- (B) 3 TESTS PER VISIT (C) 1 TEST PER 1000m² OF EXPOSED SUBGRADE TESTING SHALL BE "LEVEL 1" TESTING IN ACCORDANCE WITH AS 3798
- 8. FILLING TO BE PLACED AND COMPACTED IN MAXIMUM 150mm LAYERS
- 9. NO FILLING SHALL TAKE PLACE TO EXPOSE SUBGRADE UNTIL THE AREA HAS BEEN PROOF ROLLED IN THE PRESENCE OF AT & L AND APPROVAL GIVEN IN WRITING THAT FILLING CAN PROCEED.

SAFETY IN DESIGN

THERE ARE INHERENT RISKS WITH CONSTRUCTING, MAINTAINING, OPERATING, DEMOLISHING, DISMANTLING AND DISPOSING THE DESIGN THAT ARE TYPICAL OF SIMILAR DESIGNS. AS FAR AS REASONABLY PRACTABLE, RISKS HAVE BEEN ELIMINATED OR MINIMISED THROUGH THE DESIGN PROCESS. HAZARD CONTROLS MUST STILL BE IMPLEMENTED BY THE CONTRACTOR, OWNER OR OPERATOR TO ENSURE THE SAFETY OF WORKERS.

EXISTING UNDERGROUND SERVICES NOTES

AT & L CAN NOT GUARANTEE THAT THE SERVICES INFORMATION SHOWN ON THESE DRAWINGS ACCURATELY INDICATES THE PRESENCE OR ABSENCE OF SERVICES OR THEIR LOCATION AND WILL ACCEPT NO LIABILITY FOR INACCURACIES IN THE SERVICES

INFORMATION SHOWN FROM ANY CAUSE WHATSOEVER.

CONTRACTORS SHALL TAKE DUE CARE WHEN EXCAVATING ONSITE INCLUDING HAND EXCAVATION WHERE NECESSARY.

CONTRACTORS ARE TO CONTACT THE RELEVANT SERVICE AUTHORITY PRIOR

Project

Designed

Checked

TO COMMENCEMENT OF EXCAVATION WORKS.

GENERAL NOTES ALL CIVIL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH CITY OF SYDNEY STANDARDS

CK

CK

GJ

ΑT



Civil Engineers and Project Managers

SYDNEY

GENERAL NOTES AND LEGENDS

MIRVAC

HARBOURSIDE

2-10 DARLING DRIVE

FOR APPROVAL Project - Drawing No. CIV-DWG-OA-2001

NOT TO BE USED FOR CONSTRUCTION Issue

Level 7, 153 Walker Street

North Sydney NSW 2060

ABN 96 130 882 405

Tel: 02 9439 1777

Fax: 02 9923 1055

www.atl.net.au

info@atl.net.au

Bar Scales

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Client

Approved AHD SSD 7874 SSD 49259711

NTS

GDA20 MGA56

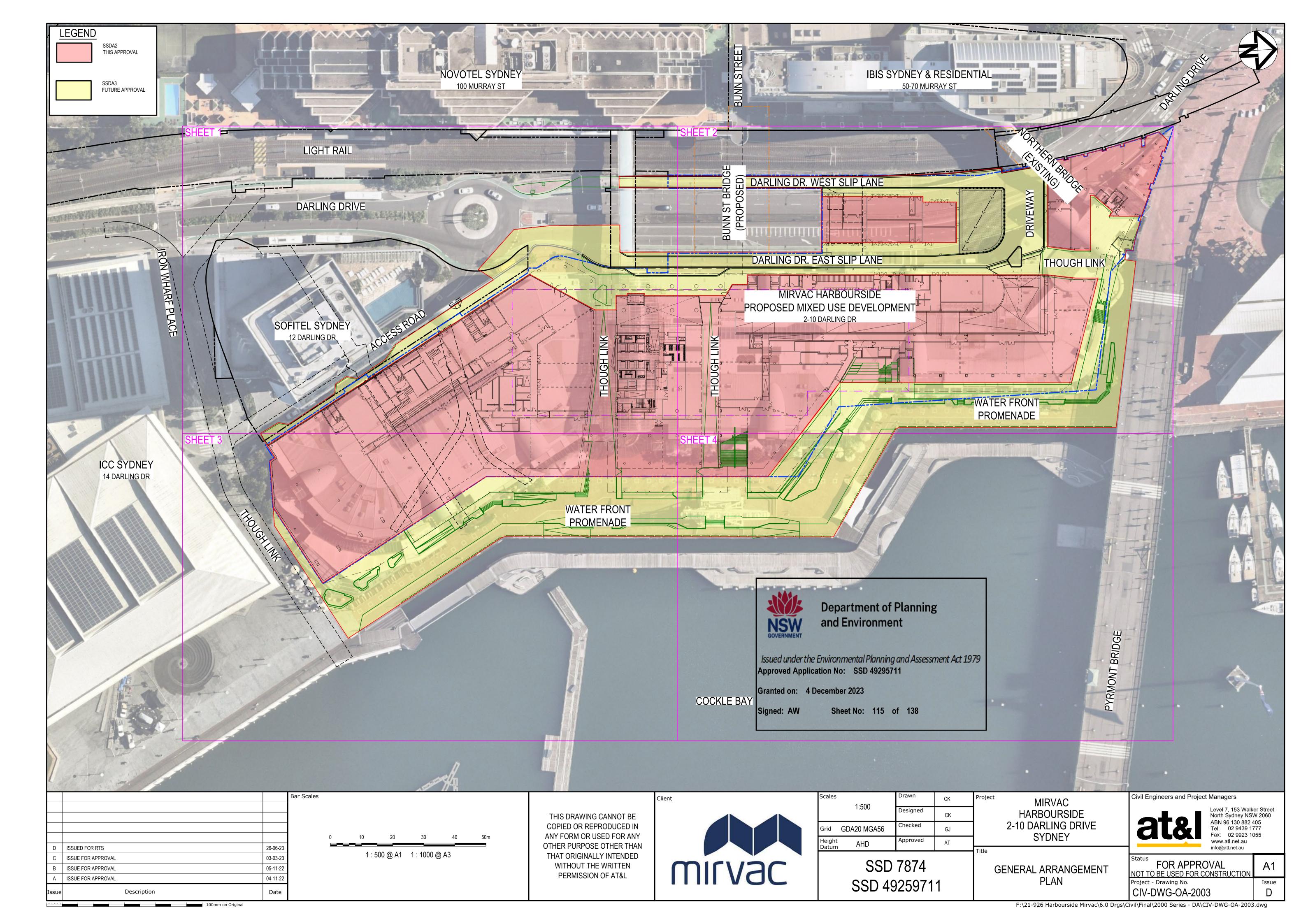
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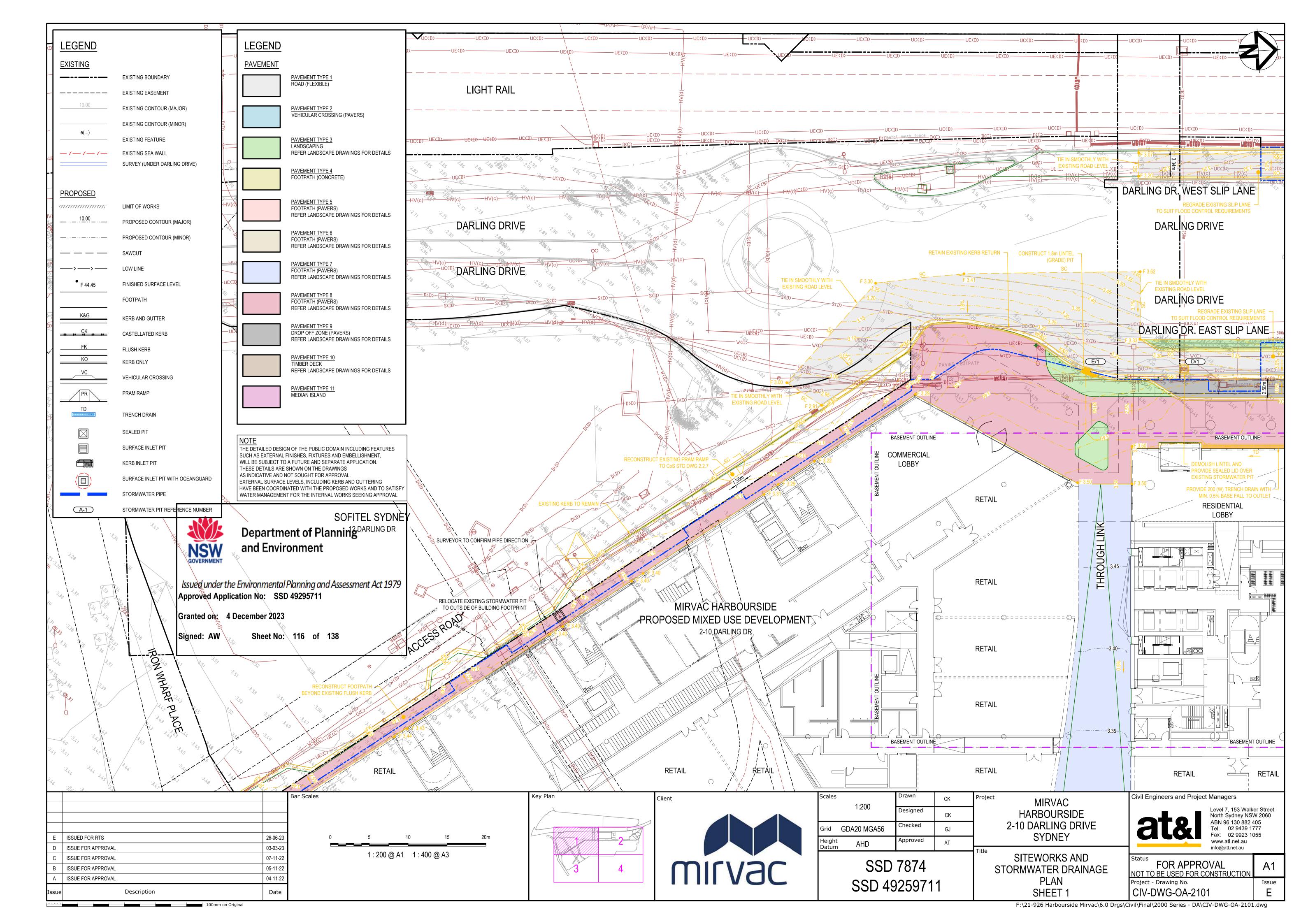
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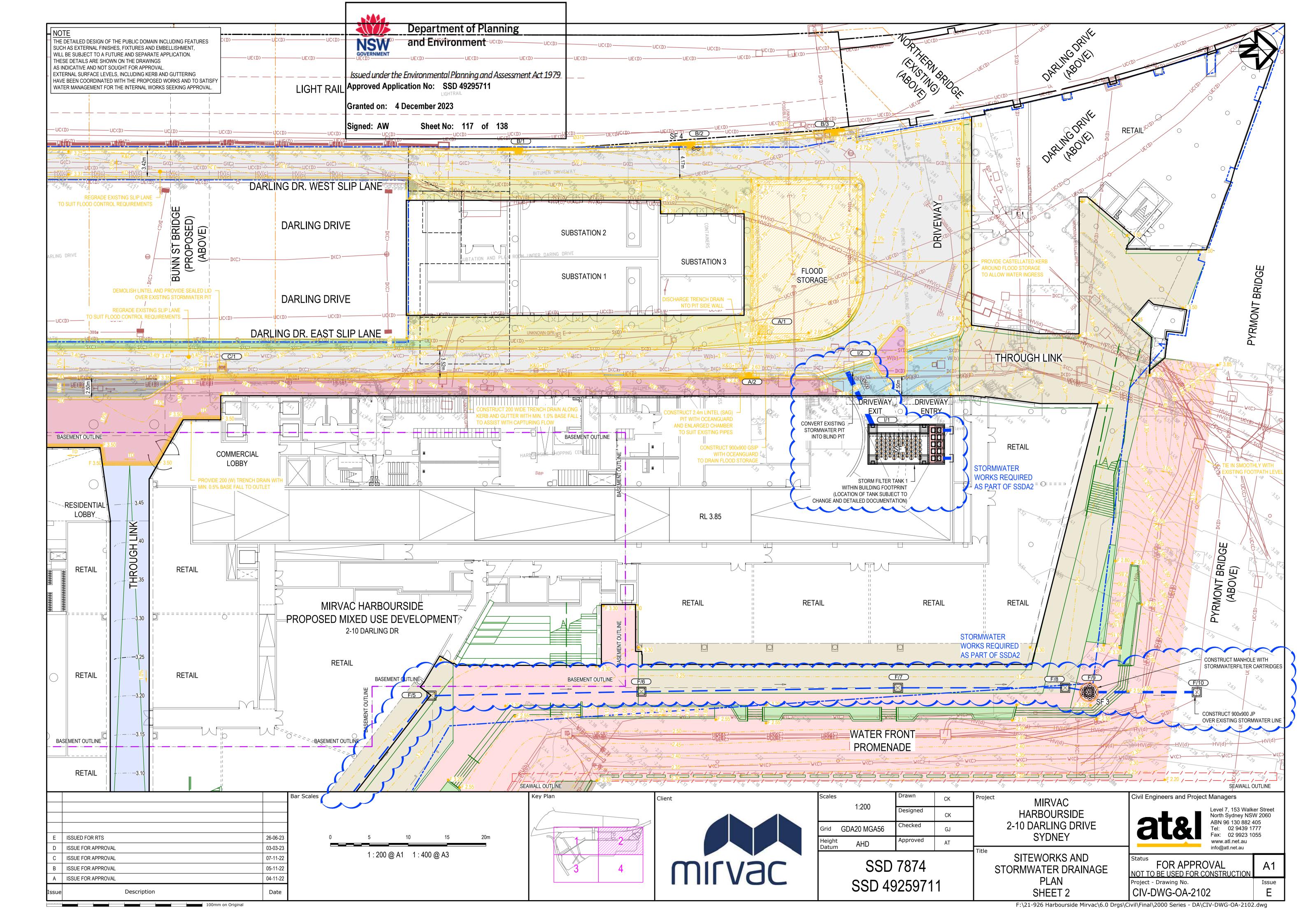
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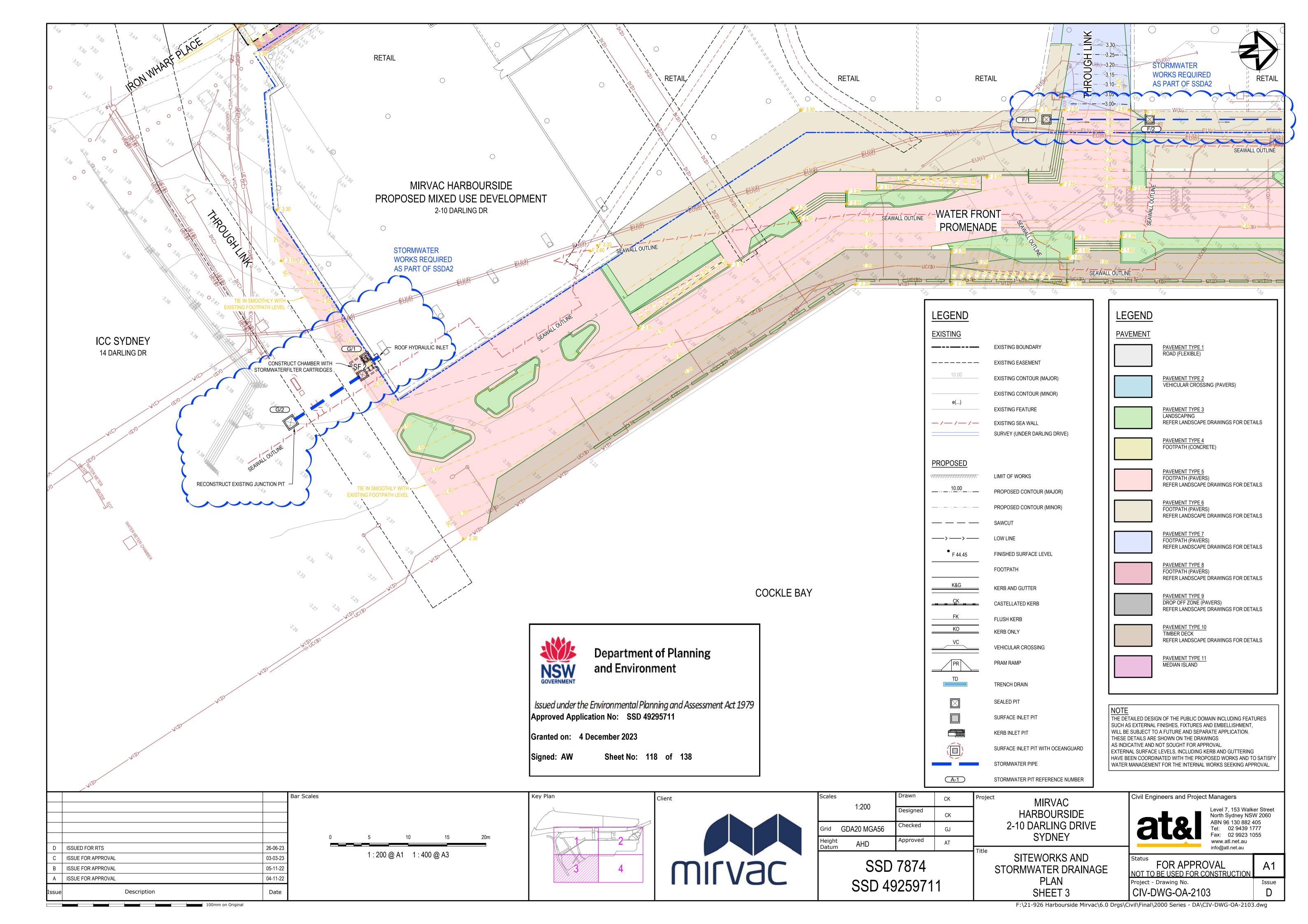
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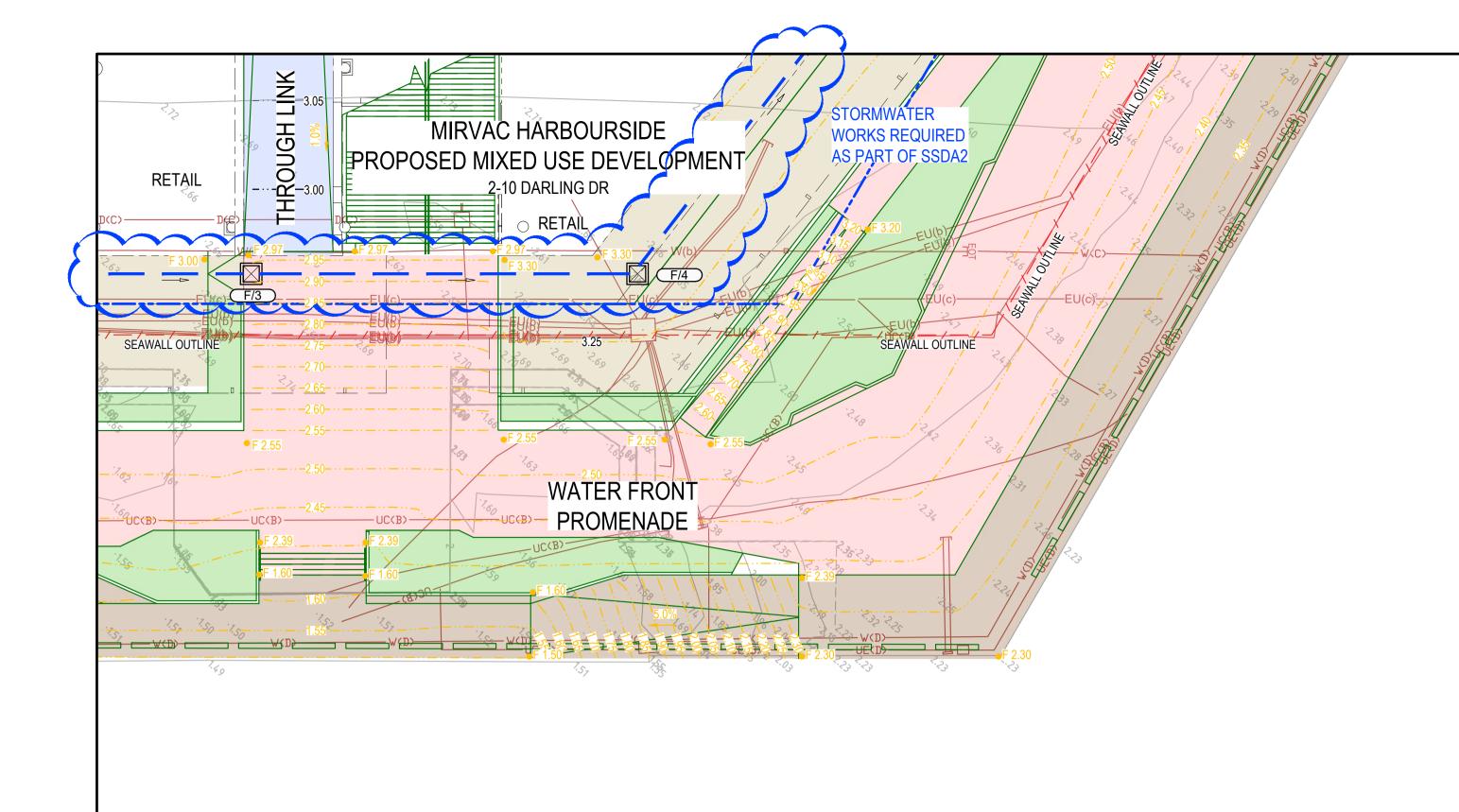
Date









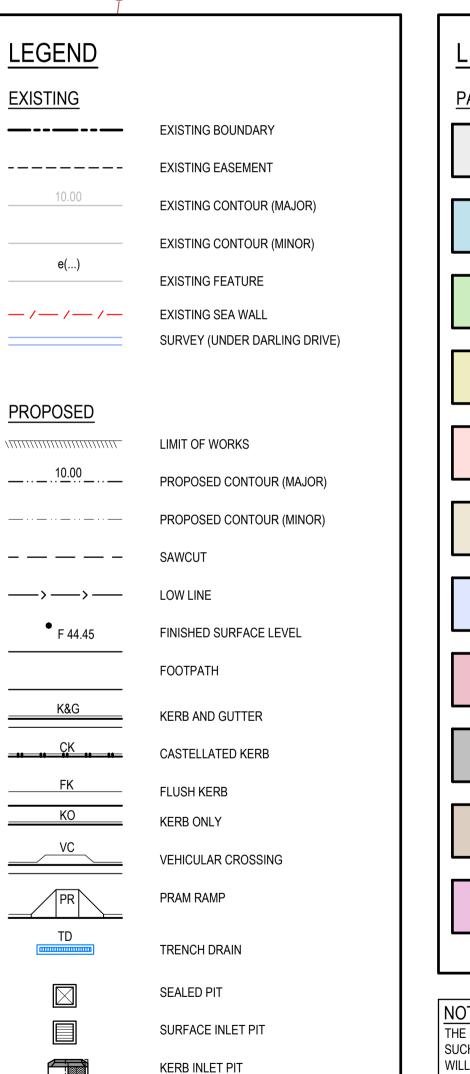


Department of Planning and Environment

Issued under the Environmental Planning and Assessment Act 1979 Approved Application No: SSD 49295711

Granted on: 4 December 2023

Signed: AW **Sheet No: 119 of 138** COCKLE BAY



SURFACE INLET PIT WITH OCEANGUARD

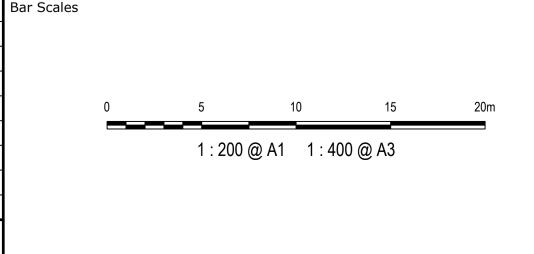
STORMWATER PIT REFERENCE NUMBER

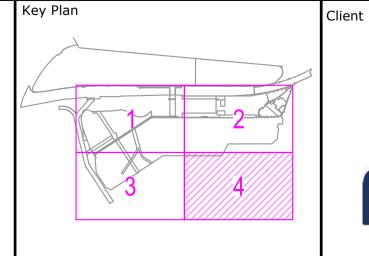
PLAN

STORMWATER PIPE

LEGEND PAVEMENT ROAD (FLEXIBLE) VEHICULAR CROSSING (PAVERS) PAVEMENT TYPE 3 LANDSCAPING REFER LANDSCAPE DRAWINGS FOR DETAILS FOOTPATH (CONCRETE) FOOTPATH (PAVERS) REFER LANDSCAPE DRAWINGS FOR DETAILS FOOTPATH (PAVERS) REFER LANDSCAPE DRAWINGS FOR DETAILS FOOTPATH (PAVERS) REFER LANDSCAPE DRAWINGS FOR DETAILS PAVEMENT TYPE 8 FOOTPATH (PAVERS) REFER LANDSCAPE DRAWINGS FOR DETAILS DROP OFF ZONE (PAVERS) REFER LANDSCAPE DRAWINGS FOR DETAILS TIMBER DECK REFER LANDSCAPE DRAWINGS FOR DETAILS PAVEMENT TYPE 11 MEDIAN ISLAND THE DETAILED DESIGN OF THE PUBLIC DOMAIN INCLUDING FEATURES SUCH AS EXTERNAL FINISHES, FIXTURES AND EMBELLISHMENT, WILL BE SUBJECT TO A FUTURE AND SEPARATE APPLICATION. THESE DETAILS ARE SHOWN ON THE DRAWINGS

ISSUED FOR RTS 26-06-23 ISSUE FOR APPROVAL 03-03-23 05-11-22 ISSUE FOR APPROVAL ISSUE FOR APPROVAL 04-11-22 Date Description







Height AHD	Drawn	СК	F
1.200	Designed	СК	
Grid GDA20 MGA56	Checked	GJ	
Height AHD	Approved	AT	L

(A-1)

SSD 7874 SSD 49259711

MIRVAC HARBOURSIDE 2-10 DARLING DRIVE SYDNEY

SITEWORKS AND STORMWATER DRAINAGE SHEET 4 CIV-DWG-OA-2104

AS INDICATIVE AND NOT SOUGHT FOR APPROVAL.

EXTERNAL SURFACE LEVELS, INCLUDING KERB AND GUTTERING

Civil Engineers and Project Managers

HAVE BEEN COORDINATED WITH THE PROPOSED WORKS AND TO SATISFY

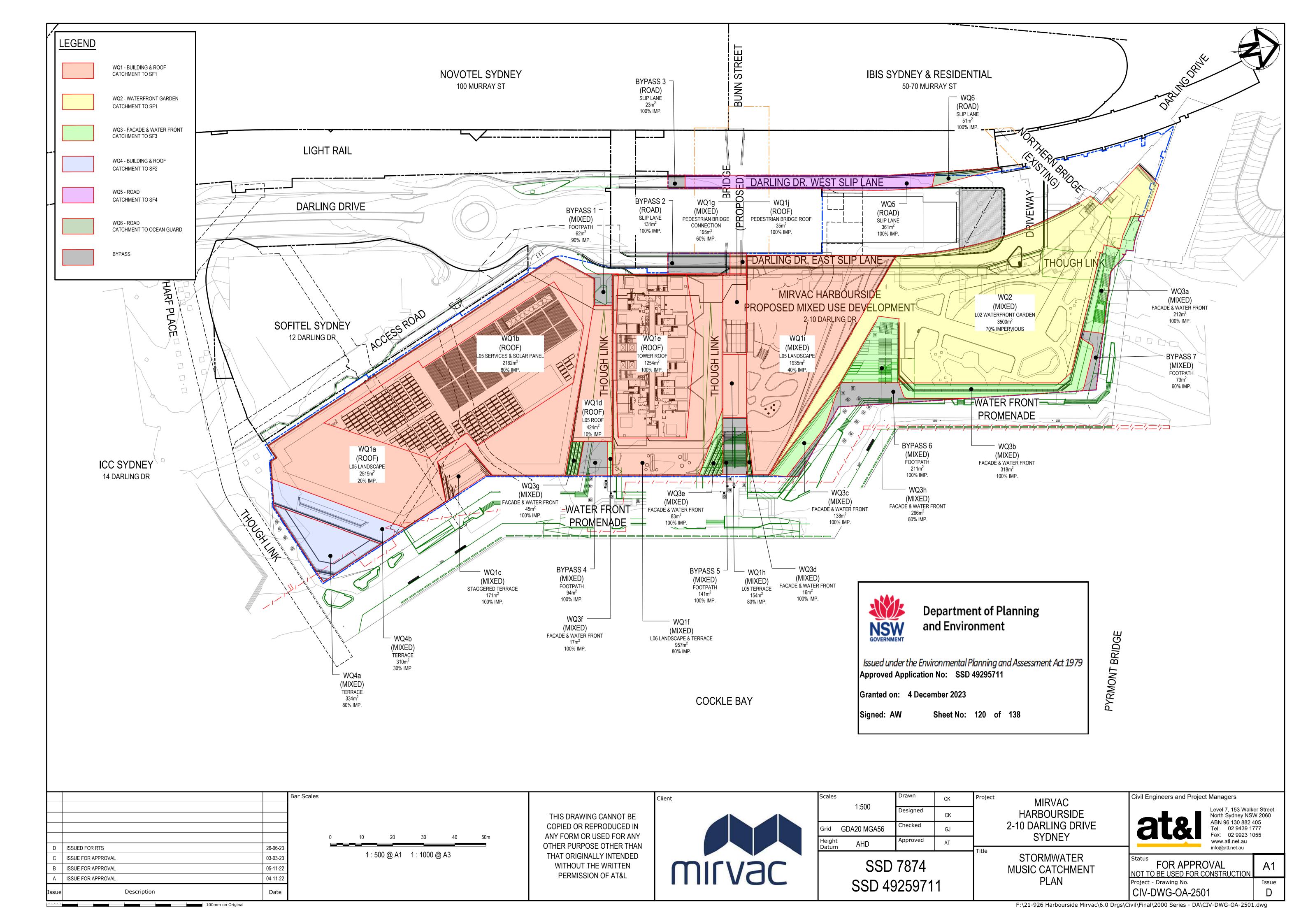
WATER MANAGEMENT FOR THE INTERNAL WORKS SEEKING APPROVAL.

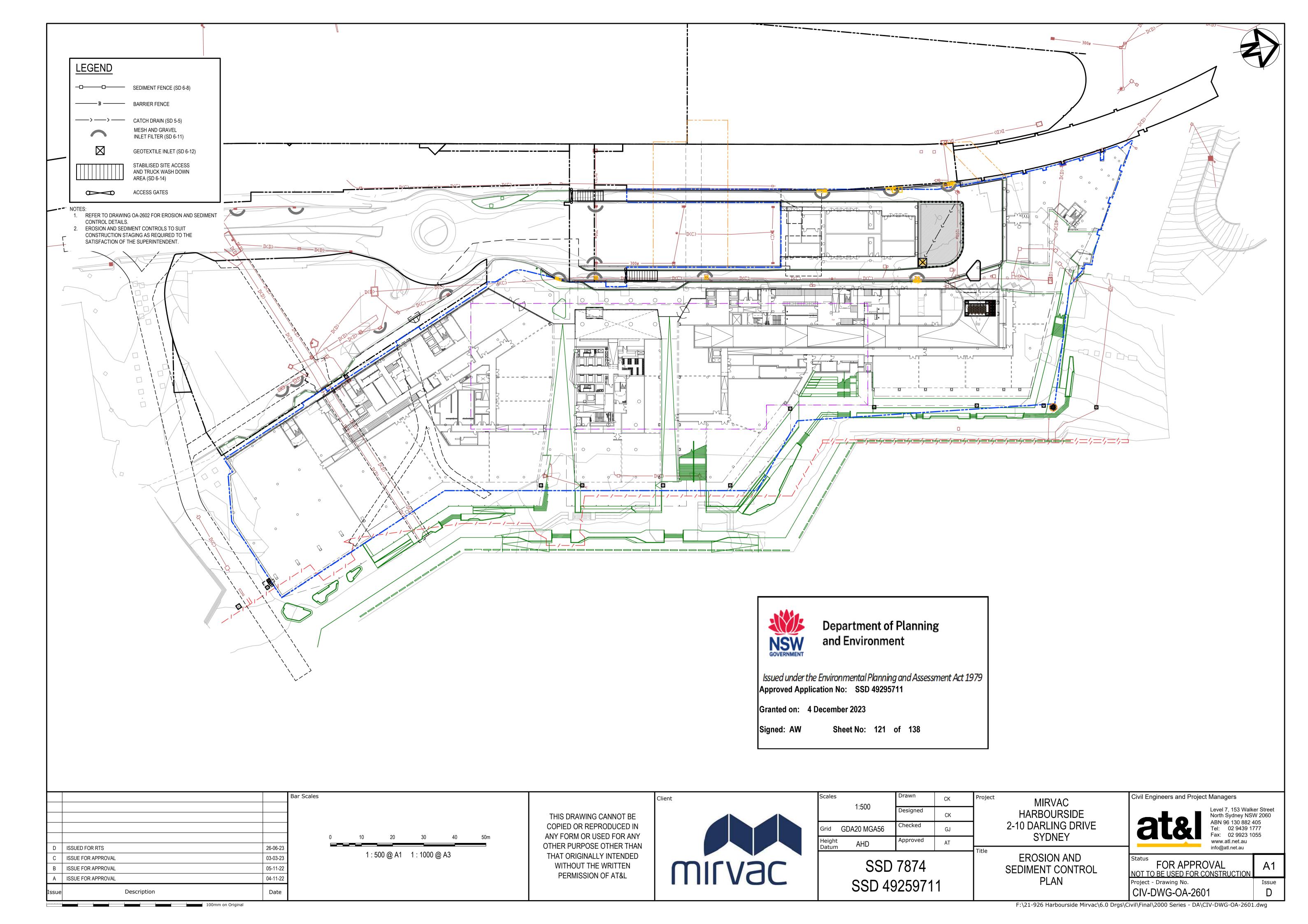
www.atl.net.au info@atl.net.au FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION Project - Drawing No.

North Sydney NSW 2060 ABN 96 130 882 405

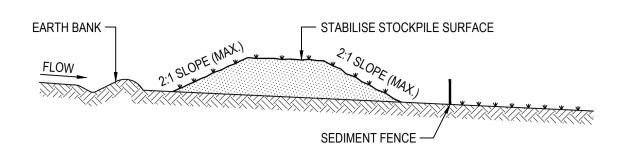
Tel: 02 9439 1777

Fax: 02 9923 1055







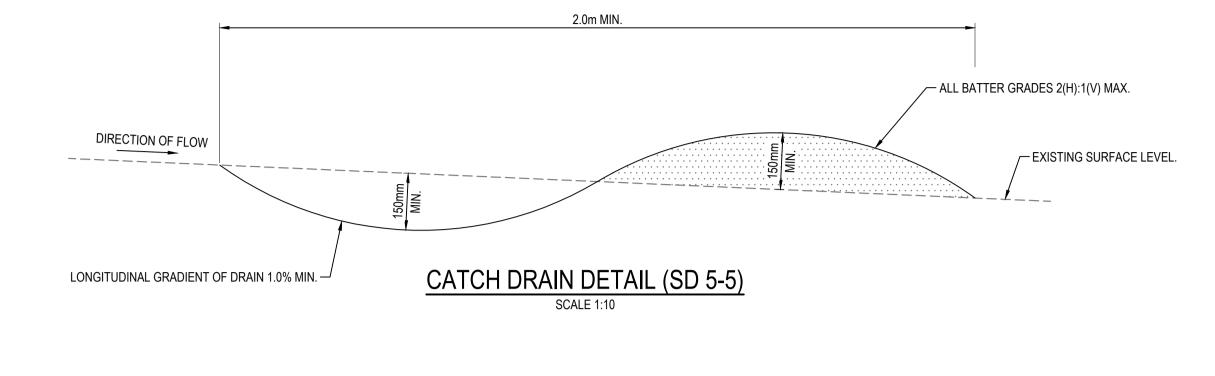


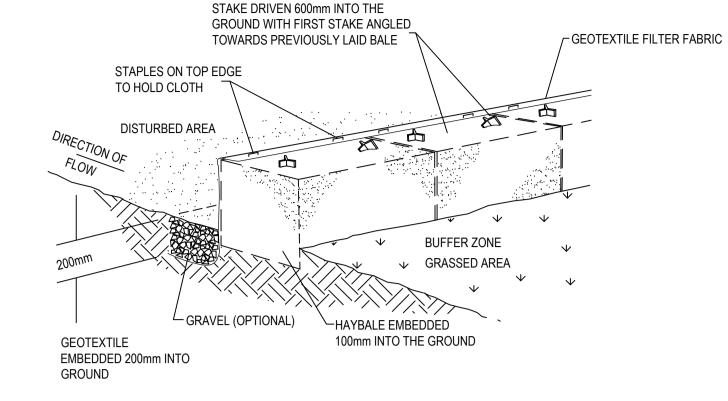
STOCKPILE CONSTRUCTION NOTES:

1. PLACE STOCKPILES MORE THAN 2 (PREFERABLY 5) METRES FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.

- 2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
- 3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METRES IN HEIGHT.
- 4. WHERE THEY ARE TO BE PLACED FOR MORE THAN 10 DAYS, STABILISE FOLLOWING THE APPROVED E.S.C.P. OR S.W.M.P. TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
- 5. CONSTRUCT EARTH BANKS ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES 1 TO 2 METRES DOWNSLOPE.

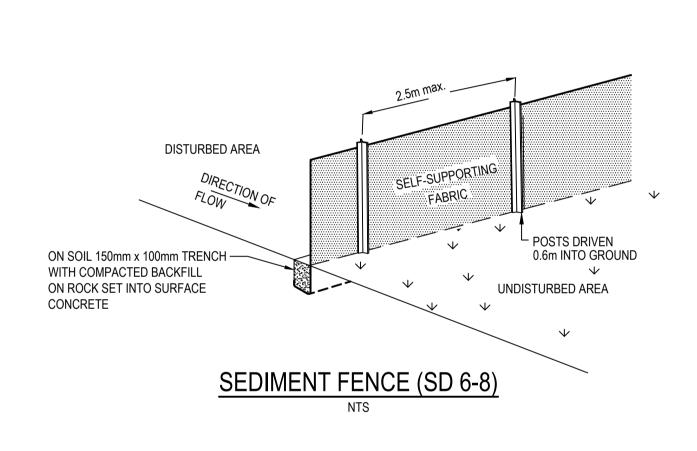
STOCKPILE SECTION (SD 4-1)

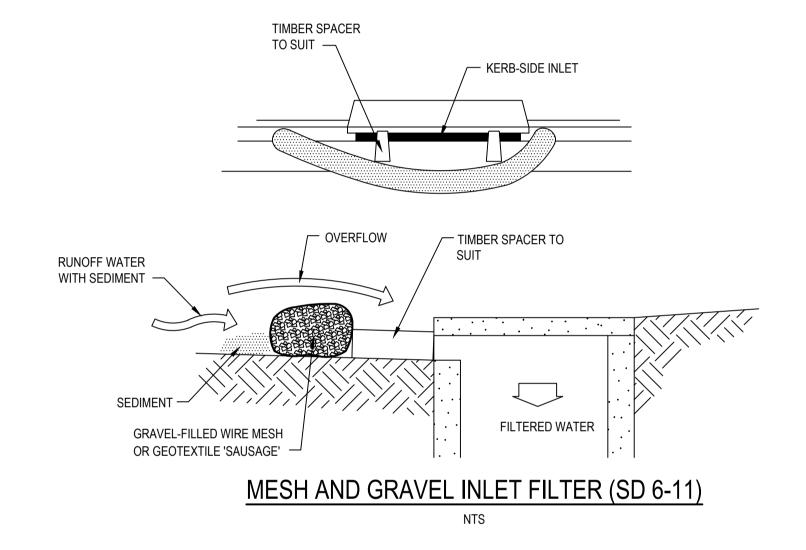


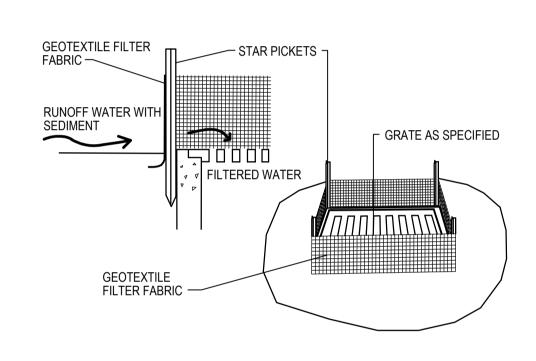


HAYBALE AND GEOTEXTILE SEDIMENT FILTER (SD 6-7)

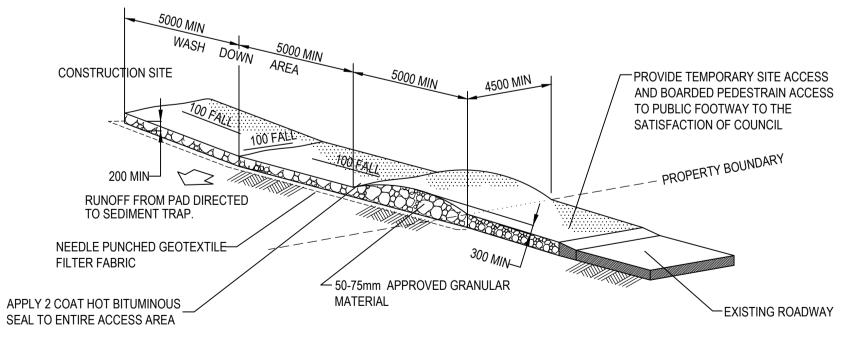
NTS

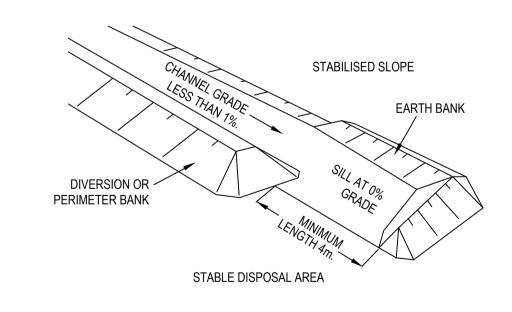






GEOTEXTILE FILTER PIT SURROUND (SD 6-12)





LEVEL SPREADER (OR SILL)

NTS

Departm and Envi

Department of Planning and Environment

Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: SSD 49295711

Granted on: 4 December 2023

Signed: AW Sheet No: 122 of 138

STABILISED SITE ACCESS AND TRUCK WASH DOWN AREA (SD 6-14)
NTS

			Bar Scales
D	ISSUED FOR RTS	26-06-23	
С	ISSUE FOR APPROVAL	03-03-23	
В	ISSUE FOR APPROVAL	05-11-22	
Α	ISSUE FOR APPROVAL	04-11-22	
Issue	Description	Date	

100mm on Original

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WITHOUT THE WRITTEN
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Scales NTS	Drawn	СК	Proj
NIS	Designed	СК	
Grid GDA20 MGA56	Checked	GJ	
Height AHD	Approved	AT	

SSD 7874 SSD 49259711 MIRVAC HARBOURSIDE 2-10 DARLING DRIVE SYDNEY

EROSION AND SEDIMENT CONTROL DETAILS

Civil Engineers and Project Managers			
at&l	Level 7, 153 Walker Street North Sydney NSW 2060 ABN 96 130 882 405 Tel: 02 9439 1777 Fax: 02 9923 1055 www.atl.net.au		

Tel: 02 9439 1777
Fax: 02 9923 1055
www.atl.net.au
info@atl.net.au

A

NOT TO BE USED FOR CONSTRUCTION

Project - Drawing No.

CIV-DWG-OA-2602

	DEPOSITED PLAN A	DMINISTR <i>A</i>	ATION SHEET	Sheet 1 of 4 sheet(s)
Registered: Title System:	Office Use Only		AFT - STR SSUE 04 - PRINT LEVEL 5 UPDA	
PLAN OF PROPOSED SUB LOTS 1 TO 10 IN DP 77687 LOTS 12, 12, 14, 15 & 17 IN LOT 2015 IN DP 1234971 E AN AGREEMENT FOR LEA	15 N DP 776815 AND BEING PART OF	LGA: Locality: Parish: County:	SYDNEY DARLING HA ST. ANDREW CUMBERLAND	RBOUR
Beveridge Williams & Co Pty Ltd of65-69 Kent Street, Sydney 2000 a surveyor registered under the Surveying ar 2002, certify that: * (a) The land shown in the plan was surveyed Surveying and Spatial Information and the survey was completed on SUI * (b) The part of the land shown in the plan (b	in accordance with the n Regulation 2017, is accurate RVEY DATE or eing / excluding	I,approving this pla allocation of the la Signature:	ands NSW/Western Lands on certify that all necessary a and shown herein have beer	(Authorised Officer) in approvals in regard to the a given.
was surveyed in accordance with the Information Regulation 2017, the survey was completed on,	Surveying and Spatial part surveyed is accurate and the the part not surveyed equilation, or d in accordance with the macro Regulation 2017.	Authorised Person the provisions of s Act 1979 have been new road or reserved. Signature:	Subdivision C	tered Certifier, certify that lanning and Assessment proposed subdivision,
Signature:	 n Act 2002	Subdivision Certifi	icate number :	
Plans used in the preparation of survey Department and Environ	of Planning		s of intention to dedicate put reserves, acquire/resume la	plic roads, create public reserves nd.
Approved Application No: SSD 492: Granted on: 4 December 2023 Signed: AW Sheet No: 123 Surveyor's Reference: 2000767 DS	of 138	Signatures, So	eals and Section 88B statem	
			I LANTONI	

PLAN FORM 6A (2019)

DEPOSITED PLAN ADMINISTRATION SHEET

Sheet 2 of 4 sheet(s)

Office Use Only

Office Use Only

Registered:

PLAN OF PROPOSED SUBDIVISION OF LOTS 1 TO 10 IN DP 776815 LOTS 12, 12, 14, 15 & 17 IN DP 776815 AND LOT 2015 IN DP 1234971 BEING PART OF AN AGREEMENT FOR LEASE

Subdivision Certificate number :

Date of Endorsement :

DRAFT - STRATUM SUB

ISSUE 04 - PRINTED 7 NOV 2022

LEVEL 5 UPDATED - DDW

This sheet is for the provision of the following information as required:

- A schedule of lots and addresses See 60(c) SSI Regulation 2017
- Statements of intention to create and release affecting interests in accordance with section 88B Conveyancing Act 1919
- Signatures and seals see 195D Conveyancing Act 1919
- Any information which cannot fit in in the appropriate panel of sheet 1 of the administration sheets.

	SCHEDULE OF LOTS & ADDRESSES					
LOT	STREET NUMBER	STREET NAME	STREET TYPE	LOCALITY		
1	10	DARLING	DRIVE	SYDNEY		
2	10	DARLING	DRIVE	SYDNEY		
3	10	DARLING	DRIVE	SYDNEY		

PURSUANT TO SECTION 88 B OF THE CONVEYANCING ACT 1919 AS AMENDED AND IN TERMS OF THE ACCOMPANYING INSTRUMENT IT IS INTENDED

TO CREATE

- 1. EASEMENT FOR ACCESS VARIABLE WIDTH (LIMITED IN STRATUM) (2A)
- 2. EASEMENT TO ACCESS AND USE LOADING DOCK (VARIABLE WIDTH (LIMITED IN STRATUM) (2B)
- EASEMENT FOR ACCESS BY FOOT VARIABLE WIDTH (LIMITED IN STRATUM) (2C)
- 4. EASEMENT FOR PUBLIC AND RECREATION PURPOSES ACCESS VARIABLE WIDTH (LIMITED IN STRATUM) (2D)
- EASEMENT FOR PUBLIC ACCESS VARIABLE WIDTH (LIMITED IN STRATUM) (2E)
- 6. RIGHT OF ACCESS VARIABLE WIDTH (LIMITED IN STRATUM) (2F)
- 7. EASEMENT FOR SUPPORT VARIABLE WIDTH (LIMITED IN STRATUM) (2H)
- EASEMENT FOR PUBLIC PEDESTRIAN TO BUNN STREET BRIDGE VARIABLE WIDTH (LIMITED IN STRATUM) (2J)
- 9. EASEMENT FOR SUPPORT AND SHELTER (WHOLE OF LOT)
- 10. EASEMENT FOR SERVICES (WHOLE OF LOT)
- 11. EASEMENT FOR EMERGENCY EGRESS (WHOLE OF LOT)
- 12. EASEMENT TO ACCESS SHARED FACILITIES (WHOLE OF LOT)
- 13. EASEMENT FOR CONSTRUCTION ACCESS (WHOLE OF LOT)
- 14. RIGHT TO USE GOODS LIFT (LIMITED IN STRATUM) (2K)
- EASEMENT FOR LIGHT & AIR (LA)



Department of Planning and Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD 49295711

Granted on: 4 December 2023

Signed: AW Sheet No: 124 of 138

If space is insufficient use additional annexure sheet

Surveyor's Reference: 2000767 DSUB

PLAN FORM 6A (2019)

DEPOSITED PLAN ADMINISTRATION SHEET

Sheet 3 of 4 sheet(s)

Office Use Only

Office Use Only

Registered:

PLAN OF PROPOSED SUBDIVISION OF LOTS 1 TO 10 IN DP 776815 LOTS 12, 12, 14, 15 & 17 IN DP 776815 AND LOT 2015 IN DP 1234971 BEING PART OF AN AGREEMENT FOR LEASE

 DRAFT - STRATUM SUB

ISSUE 04 - PRINTED 7 NOV 2022

LEVEL 5 UPDATED - DDW

This sheet is for the provision of the following information as required:

- A schedule of lots and addresses See 60(c) SSI Regulation 2017
- Statements of intention to create and release affecting interests in accordance with section 88B Conveyancing Act 1919
- Signatures and seals see 195D Conveyancing Act 1919
- Any information which cannot fit in in the appropriate panel of sheet 1 of the administration sheets.



Department of Planning and Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD 49295711

Granted on: 4 December 2023

Signed: AW Sheet No: 125 of 138

If space is insufficient use additional annexure sheet

Surveyor's Reference: 2000767 DSUB

PLAN FORM 6A (2019) **DEPOSITED PLAN ADMINISTRATION SHEET** Sheet 4 of 4 sheet(s) Office Use Only Office Use Only **DRAFT - STRATUM SUB** Registered: PLAN OF PROPOSED SUBDIVISION OF ISSUE 04 - PRINTED 7 NOV 2022 LOTS 1 TO 10 IN DP 776815 LEVEL 5 UPDATED - DDW LOTS 12, 12, 14, 15 & 17 IN DP 776815 AND LOT 2015 IN DP 1234971 BEING PART OF This sheet is for the provision of the following information as required: AN AGREEMENT FOR LEASE • A schedule of lots and addresses - See 60(c) SSI Regulation 2017 • Statements of intention to create and release affecting interests in accordance with section 88B Conveyancing Act 1919

• Signatures and seals - see 195D Conveyancing Act 1919

1 of the administration sheets.

Any information which cannot fit in in the appropriate panel of sheet



Subdivision Certificate number :

Date of Endorsement :

Department of Planning and Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD 49295711

Granted on: 4 December 2023

Signed: AW Sheet No: 126 of 138

If space is insufficient use additional annexure sheet

Surveyor's Reference: 2000767 DSUB

Reference: 2000767 DSUB

Lengths are in metres.

PRELIMINARY PLAN PREPARED BY Beveridge Williams & Co Pty Ltd

Development and Infrastructure Consultants www.beveridgewilliams.com.au 65-69 Kent Street Sydney 2000 Tel. 02 9283 6677

SCHEDULE OF WHOLE OF LOT EASEMENTS EASEMENT FOR SUPPORT AND SHELTER (WHOLE OF LOTS) EASEMENT FOR SERVICES (WHOLE OF LOTS) EASEMENT FOR EMERGENCY EGRESS (WHOLE OF LOTS) RIGHT TO ACCESS SHARED FACILITIES (WHOLE OF LOTS) EASEMENT FOR CONSTRUCTION ACCESS (WHOLE OF LOTS)

(2F) PROPOSED RIGHT OF ACCESS VARIABLE WIDTH (LIMITED IN STRATUM

SURVEYOR Name:

MARK JOHN ANDREW

Date: Reference: 2000767 DSUB

PLAN OF PROPOSED SUBDIVISION OF LOTS 1 TO 10 IN DP 776815 LOTS 12, 12, 14, 15 & 17 IN DP 776815 AND LOT 2015 IN DP 1234971 BEING PART OF AN AGREEMENT FOR LEASE

LGA: Locality:

Lengths are in metres.

SYDNEY DARLING HARBOUR Reduction Ratio: 1:600

REGISTERED **DRAFT - STRATUM SUB**

SL14

SL17

2.4

10.25

17.07

ISSUE 04 - PRINTED 7 NOV 2022 LEVEL 5 UPDATED - DDW

7.82

11.5

23.57

Development and Infrastructure Consultants www.beveridgewilliams.com.au 65-69 Kent Street Sydney 2000 Tel. 02 9283 6677

sydney@bevwill.com.au

SCHEDULE OF WHOLE OF LOT EASEMENTS

EASEMENT FOR SUPPORT AND SHELTER (WHOLE OF LOTS)

EASEMENT FOR SERVICES (WHOLE OF LOTS)

EASEMENT FOR EMERGENCY EGRESS (WHOLE OF LOTS)

RIGHT TO ACCESS SHARED FACILITIES (WHOLE OF LOTS)

EASEMENT FOR CONSTRUCTION ACCESS (WHOLE OF LOTS)

SURVEYOR
Name:

MARK JOHN ANDREW

Date:

Reference: 2000767 DSUB

PLAN OF PROPOSED SUBDIVISION OF LOTS 1 TO 10 IN DP 776815

LOTS 12, 12, 14, 15 & 17 IN DP 776815 AND LOT 2015 IN DP 1234971 BEING PART OF AN AGREEMENT FOR LEASE LGA: SYDNEY
Locality: DARLING HARBOUR
Reduction Ratio: 1:600

Lengths are in metres.

REGISTERED

DRAFT - STRATUM SUB

ISSUE 04 - PRINTED 7 NOV 2022

LEVEL 5 UPDATED - DDW

LIMIT UNLIMITED EXCEPTING UNLIMITED SL1 LOT 8 SL2 11.15 17.07 SL3 14.35 10.25 6.5 2.4 SL5 2.575 7.45 2.575 7.82 SL7 7.82 17.07 SL8 17.07 23.57 SL9 17.07 6.5 SL10 17.07 23.57 SL12 6.5 17.07 SL13 3.35 10.25 SL14 7.82 2.4 SL15 10.25 11.5 SL17 17.07 23.57

Signed: AW

(2A) PROPOSED EASEMENT FOR ACCESS

NSW

(2B) PROPOSED EASEMENT TO ACCESS AND USE LOADING DOCK

Granted on: 4 December 2023

(2F) PROPOSED RIGHT OF ACCESS VARIABLE WIDTH (LIMITED IN STRATUM)

Approved Application No: SSD 49295711

(2K) PROPOSED RIGHT TO USE GOODS LIFT

SURVEYOR

Name:

SCHEDULE OF WHOLE OF LOT EASEMENTS

EASEMENT FOR SERVICES (WHOLE OF LOTS)

EASEMENT FOR SUPPORT AND SHELTER (WHOLE OF LOTS)

EASEMENT FOR EMERGENCY EGRESS (WHOLE OF LOTS)

RIGHT TO ACCESS SHARED FACILITIES (WHOLE OF LOTS)

EASEMENT FOR CONSTRUCTION ACCESS (WHOLE OF LOTS)

PRELIMINARY PLAN

Beveridge Williams & Co Pty Ltd

www.beveridgewilliams.com.au 65-69 Kent Street

Development and Infrastructure Consultants

PREPARED BY

Sydney 2000

Tel. 02 9283 6677

sydney@bevwill.com.au

MARK JOHN ANDREW

Date:

Reference: 2000767 DSUB

PLAN OF PROPOSED SUBDIVISION OF LOTS 1 TO 10 IN DP 776815

Department of Planning

and Environment

Sheet No: 130 of 138

Issued under the Environmental Planning and Assessment Act 1979

LOTS 12, 12, 14, 15 & 17 IN DP 776815 AND LOT 2015 IN DP 1234971 BEING PART OF AN AGREEMENT FOR LEASE

LGA: SYDNEY
Locality: DARLING HARBOUR
Reduction Ratio: 1:600

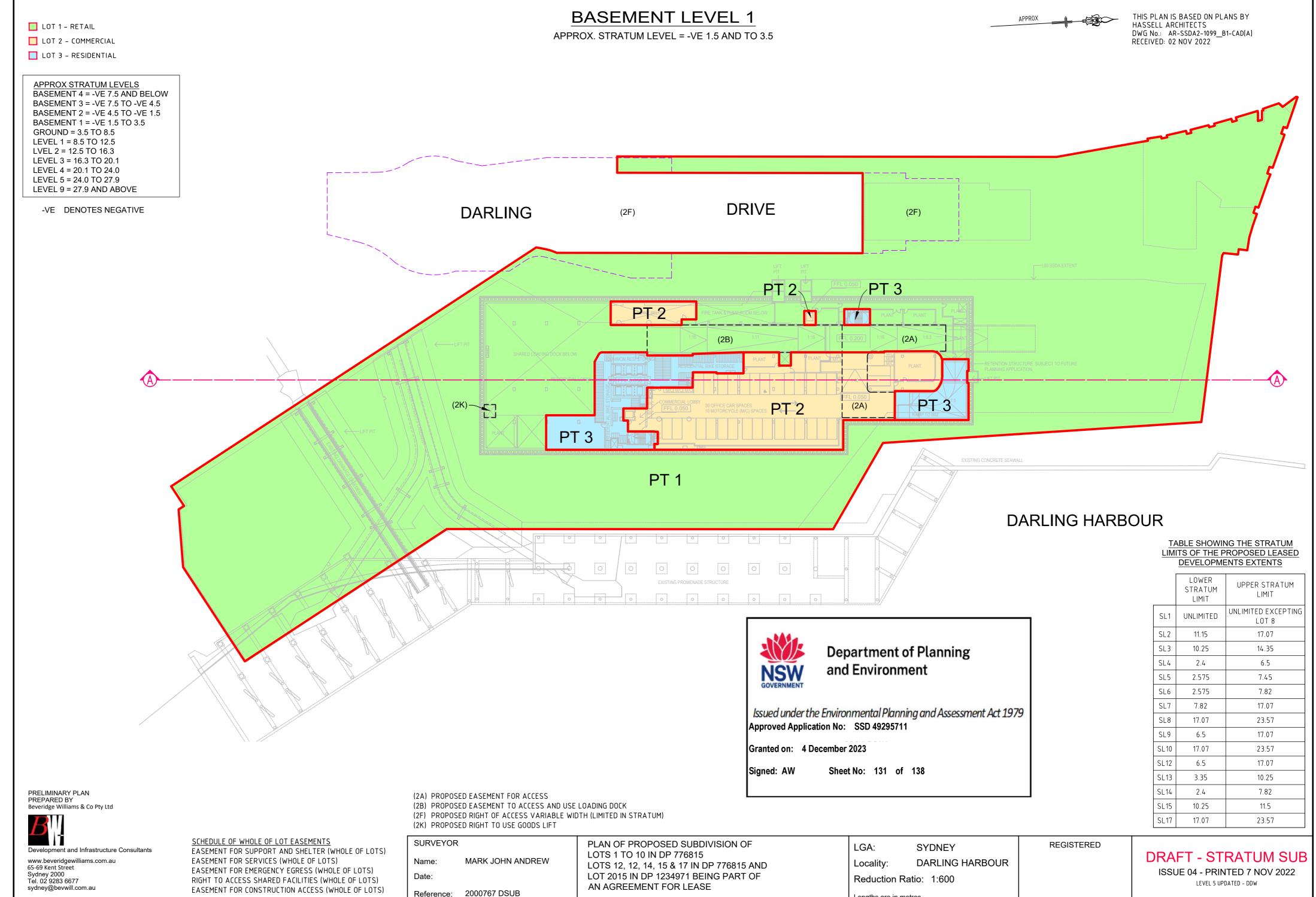
Lengths are in metres.

COCKLE BAY

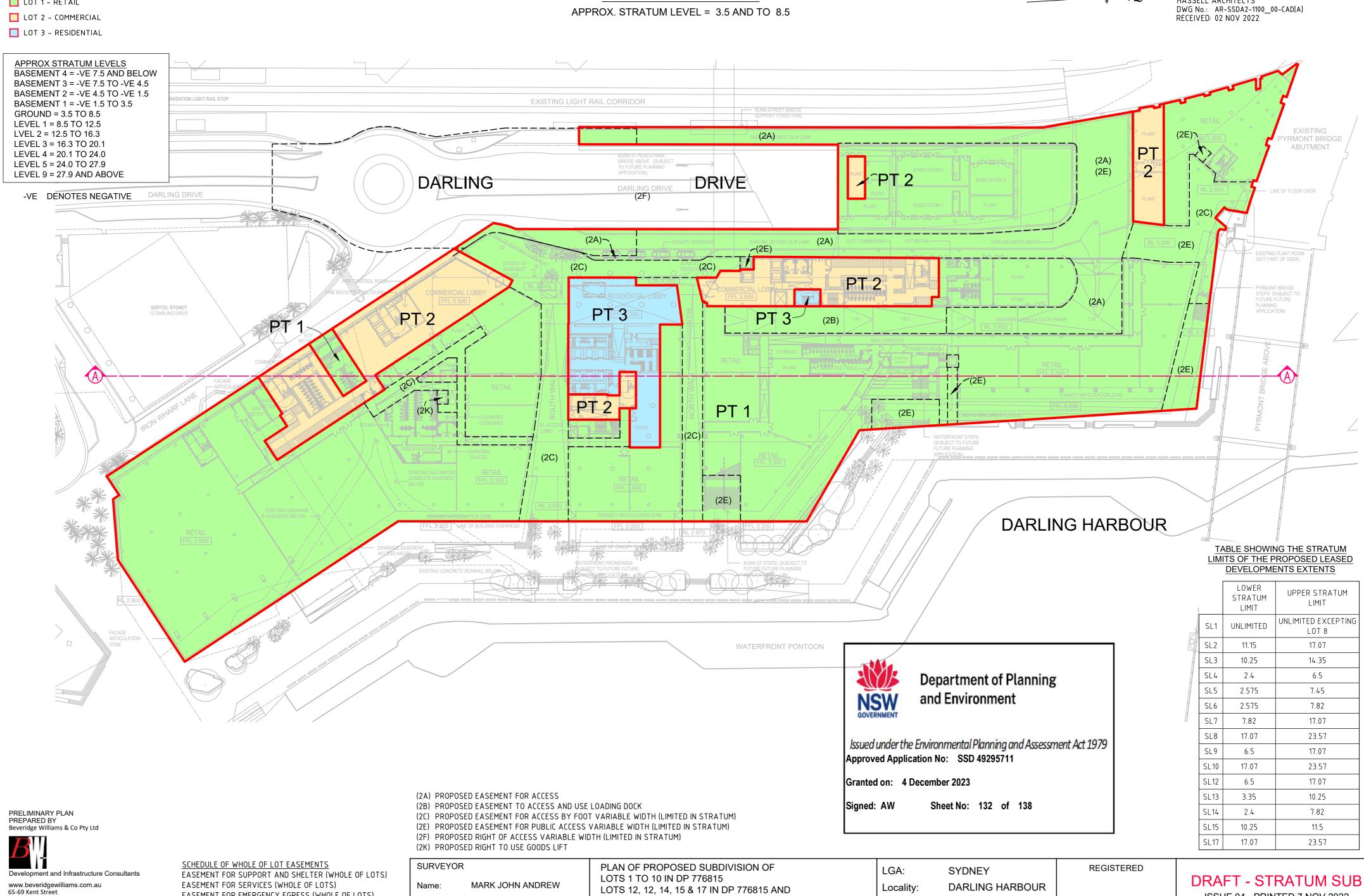
DRAFT - STRATUM SUB

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Lengths are in metres.



LOTS 12, 12, 14, 15 & 17 IN DP 776815 AND

LOT 2015 IN DP 1234971 BEING PART OF

AN AGREEMENT FOR LEASE

EASEMENT FOR SERVICES (WHOLE OF LOTS)

Sydney 2000 Tel. 02 9283 6677

sydney@bevwill.com.au

EASEMENT FOR EMERGENCY EGRESS (WHOLE OF LOTS)

RIGHT TO ACCESS SHARED FACILITIES (WHOLE OF LOTS)

EASEMENT FOR CONSTRUCTION ACCESS (WHOLE OF LOTS)

Name:

Date:

Reference: 2000767 DSUB

LEVEL 5 UPDATED - DDW

DARLING HARBOUR

Locality:

Reduction Ratio: 1:600

Lengths are in metres.

6.5

7.82

11.5

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sydney@bevwill.com.au

EASEMENT FOR CONSTRUCTION ACCESS (WHOLE OF LOTS)

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LOTS 12, 12, 14, 15 & 17 IN DP 776815 AND

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www.beveridgewilliams.com.au 65-69 Kent Street Sydney 2000 Tel. 02 9283 6677 sydney@bevwill.com.au

EASEMENT FOR SUPPORT AND SHELTER (WHOLE OF LOTS) EASEMENT FOR SERVICES (WHOLE OF LOTS) EASEMENT FOR EMERGENCY EGRESS (WHOLE OF LOTS) RIGHT TO ACCESS SHARED FACILITIES (WHOLE OF LOTS) EASEMENT FOR CONSTRUCTION ACCESS (WHOLE OF LOTS)

MARK JOHN ANDREW

Name:

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DARLING HARBOUR

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Reduction Ratio: 1:600

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LOT 2015 IN DP 1234971 BEING PART OF

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RIGHT TO ACCESS SHARED FACILITIES (WHOLE OF LOTS)

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