

NOTES

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REV	DESCRIPTION	DATE
A	FOR SSDA2 APPROVAL	02/11/2022
B	FOR SSDA2 RTS	13/06/2023

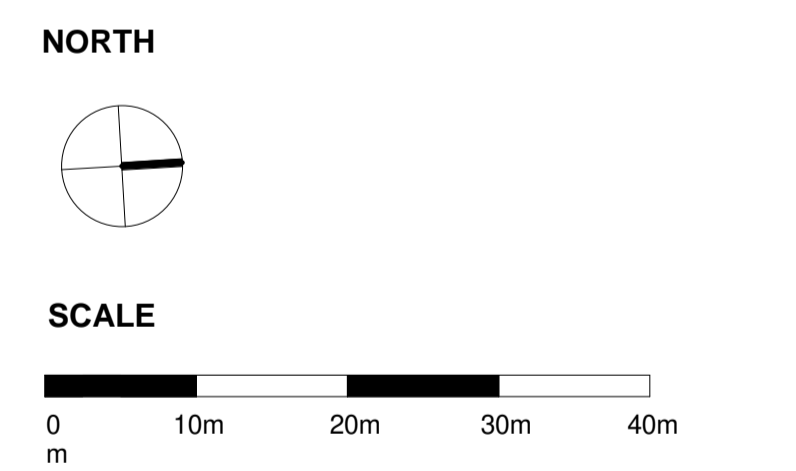
SOFTWORKS LEGEND

CODE	SYMBOL	DESCRIPTION
PL01		PLANTING TYPE 1 - PLANTING ON FLAT/GENTLE SLOPE GREEN ROOF DEPTH: 200-400mm
PL02		PLANTING TYPE 2 - TERRACE PLANTING ON STEEP SLOPE DEPTH: 200mm
PL03		PLANTING TYPE 3 - LOW PLANTING ON GREEN ROOF DEPTH: 200mm
PL04		PLANTING TYPE 4 - PRIVATE + COMMUNAL OPEN SPACE PLANTING DEPTH: 400-1000mm

FOR MIX, POT SIZE & RATES REFER PLANTING SCHEDULES

MAINTENANCE ACCESS

CODE	SYMBOL	DESCRIPTION
-		RIGID RAIL SYSTEM
-		STATIC LINE SYSTEM
-		RAIL MOUNTED ROOF JOCKEY COVERAGE AREA
-		ROLLING JOCKEY COVERAGE AREA

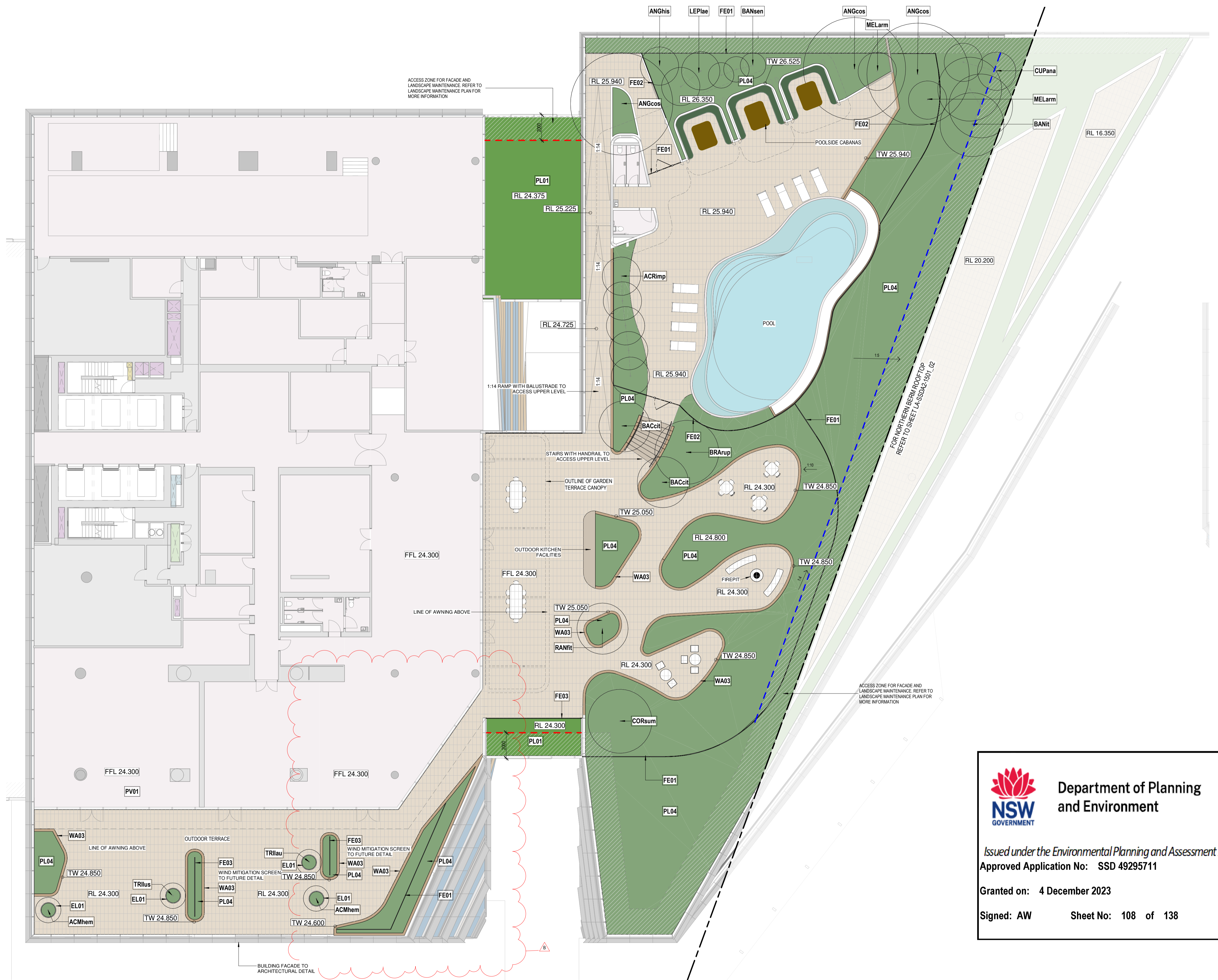


CLIENT
 mirvac

PROJECT
MIRVAC HARBOURSIDE
2-10 DARLING DRIVE, SYDNEY, NSW 2000

DRAWING TITLE
GENERAL ARRANGEMENT PLAN - L5 AMENITIES

REVIEWED SW	SCALE @ A1 As indicated
APPROVED JC	PROJECT NO. 016133-61A-P
DRAWING NO. LA-SSDA2-1151_00	REV NO. B



Department of Planning and Environment

Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: SSD 49295711

Granted on: 4 December 2023

Signed: AW **Sheet No: 108 of 138**





NOTES

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A	FOR SSDA2 APPROVAL	02/11/2022
B	FOR SSDA2 RTS	13/06/2023

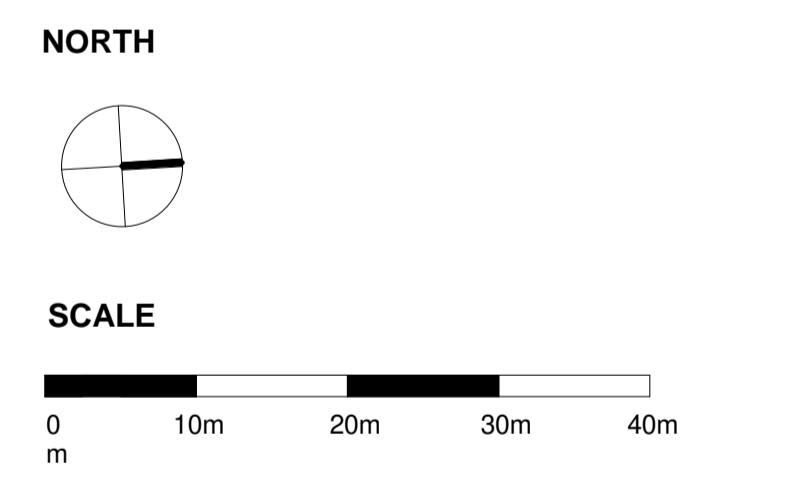
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FOR MIX, POT SIZE & RATES REFER PLANTING SCHEDULES

MAINTENANCE ACCESS

CODE	SYMBOL	DESCRIPTION
-		RIGID RAIL SYSTEM
-		STATIC LINE SYSTEM
-		RAIL MOUNTED ROOF JOCKEY COVERAGE AREA
-		ROLLING JOCKEY COVERAGE AREA

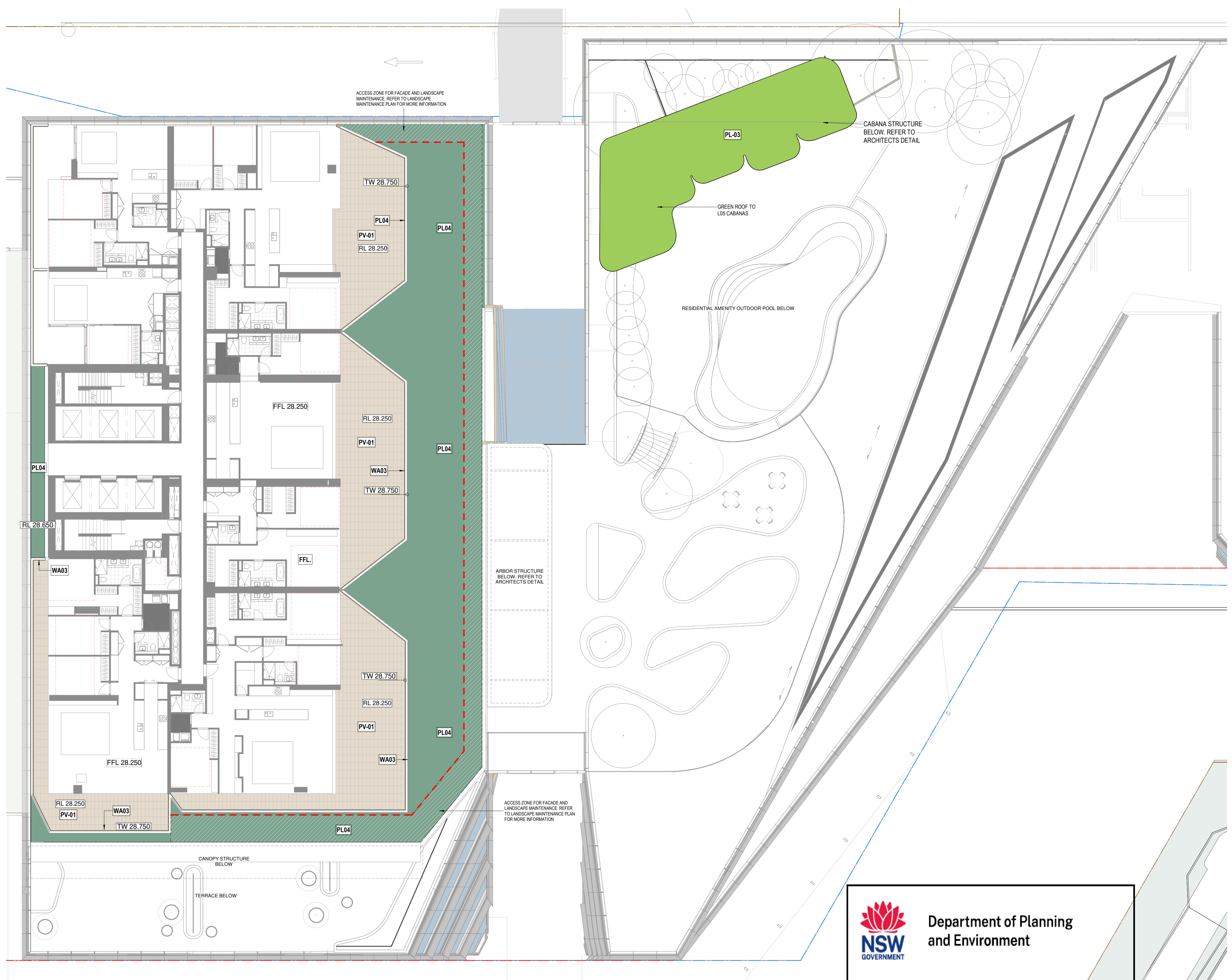



CLIENT

PROJECT
 MIRVAC HARBOURSIDE
 2-10 DARLING DRIVE, SYDNEY, NSW 2000

DRAWING TITLE
 GENERAL ARRANGEMENT PLAN - L6 TERRACE

REVIEWED SW	SCALE @ A1 As indicated
APPROVED JC	PROJECT NO. 016133-61A-P
DRAWING NO. LA-SSDA2- 1152_00	REV NO. B

Department of Planning and Environment

Issued under the Environmental Planning and Assessment Act 1979
 Approved Application No: SSD 49295711

Granted on: 4 December 2023

Signed: AW Sheet No: 109 of 138

NOTE: LEVEL 48 PENTHOUSE
TERRACE SUBJECT TO FURTHER
DESIGN DEVELOPMENT







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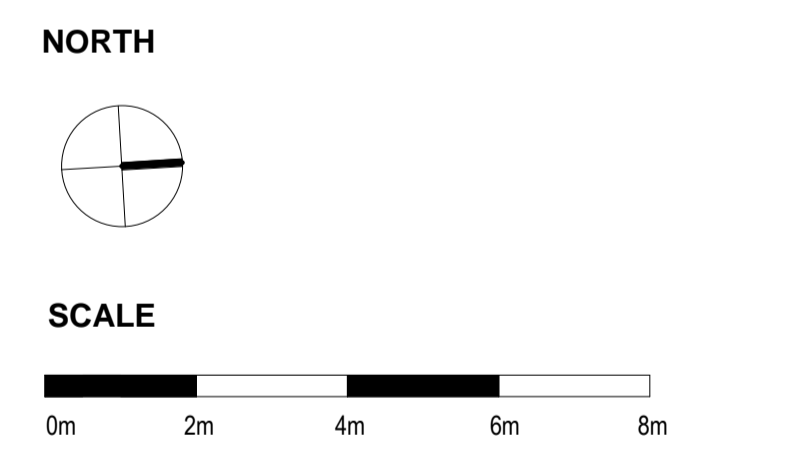
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B	FOR SSDA2 RTS	13/06/2023

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PL04		PLANTING TYPE 4 - PRIVATE + COMMUNAL OPEN SPACE PLANTING DEPTH: 400-1000mm

FOR MIX, POT SIZE & RATES REFER PLANTING SCHEDULES



CLIENT

PROJECT
MIRVAC HARBOURSIDE
2-10 DARLING DRIVE, SYDNEY, NSW 2000

DRAWING TITLE
GENERAL ARRANGEMENT PLAN - L48
PENTHOUSE TERRACE

REVIEWED SW	SCALE @ A1 1 : 100
APPROVED JC	PROJECT NO. 016133-61A-P
DRAWING NO. LA-SSDA2- 1153_00	REV NO. B



Department of Planning and Environment

Issued under the *Environmental Planning and Assessment Act 1979*
Approved Application No: SSD 49295711

Granted on: 4 December 2023

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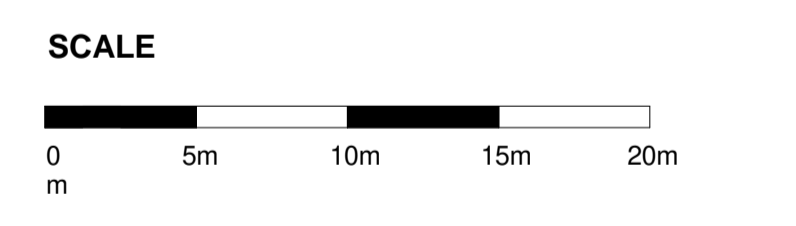
SOFTWORKS LEGEND

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FOR MIX, POT SIZE & RATES REFER PLANTING SCHEDULES

MAINTENANCE ACCESS

CODE	SYMBOL	DESCRIPTION
-		RIGID RAIL SYSTEM
-		STATIC LINE SYSTEM
-		RAIL MOUNTED ROOF JOCKEY COVERAGE AREA
-		ROLLING JOCKEY COVERAGE AREA

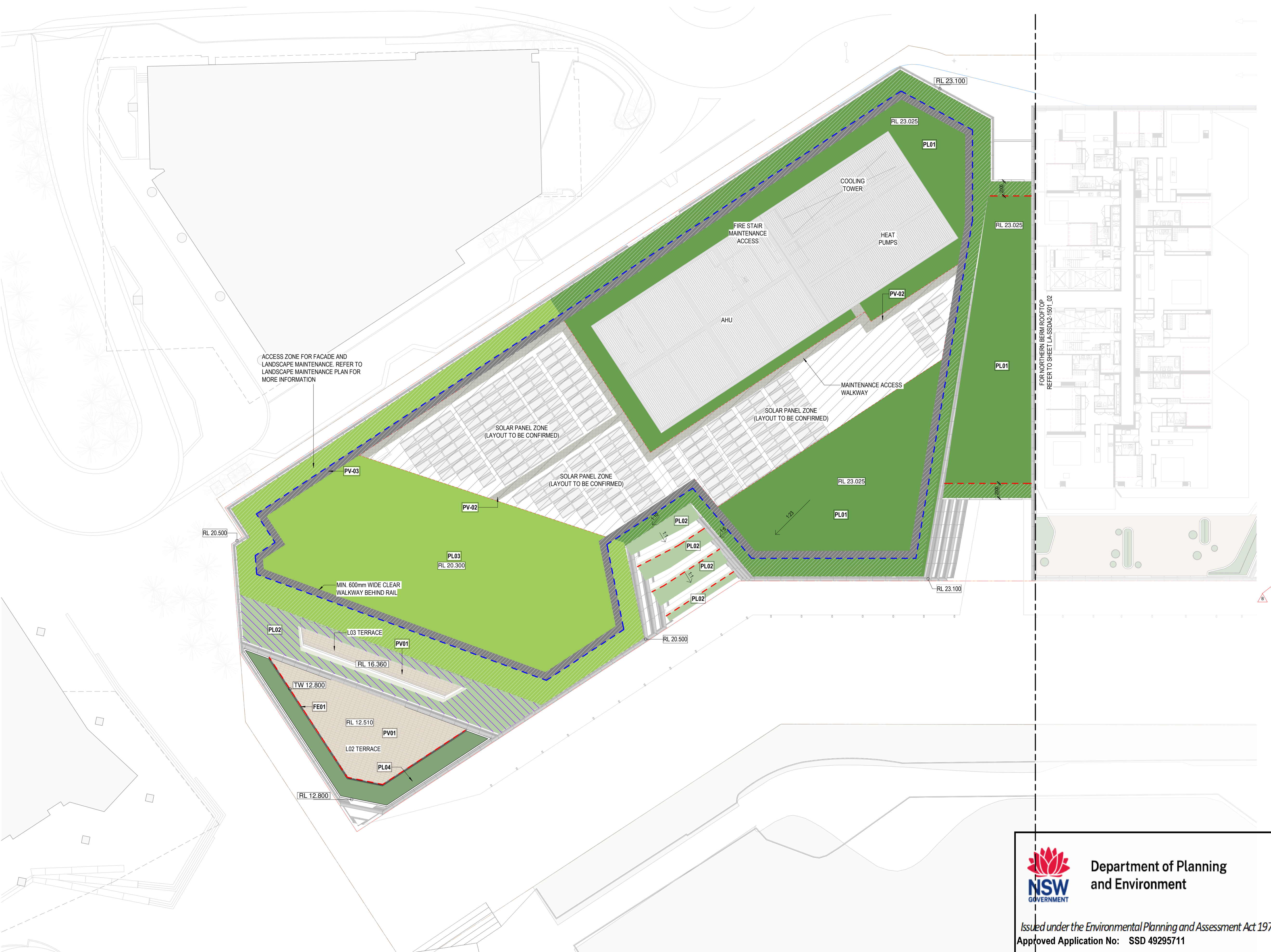


CLIENT

PROJECT
 MIRVAC HARBOURSIDE
 2-10 DARLING DRIVE, SYDNEY, NSW 2000

DRAWING TITLE
 GENERAL ARRANGEMENT PLAN - SOUTHERN GREEN ROOF

REVIEWED SW	SCALE @ A1 As indicated
APPROVED JC	PROJECT NO. 016133-61A-P
DRAWING NO. LA-SSDA2- 1501_01	REV NO. B

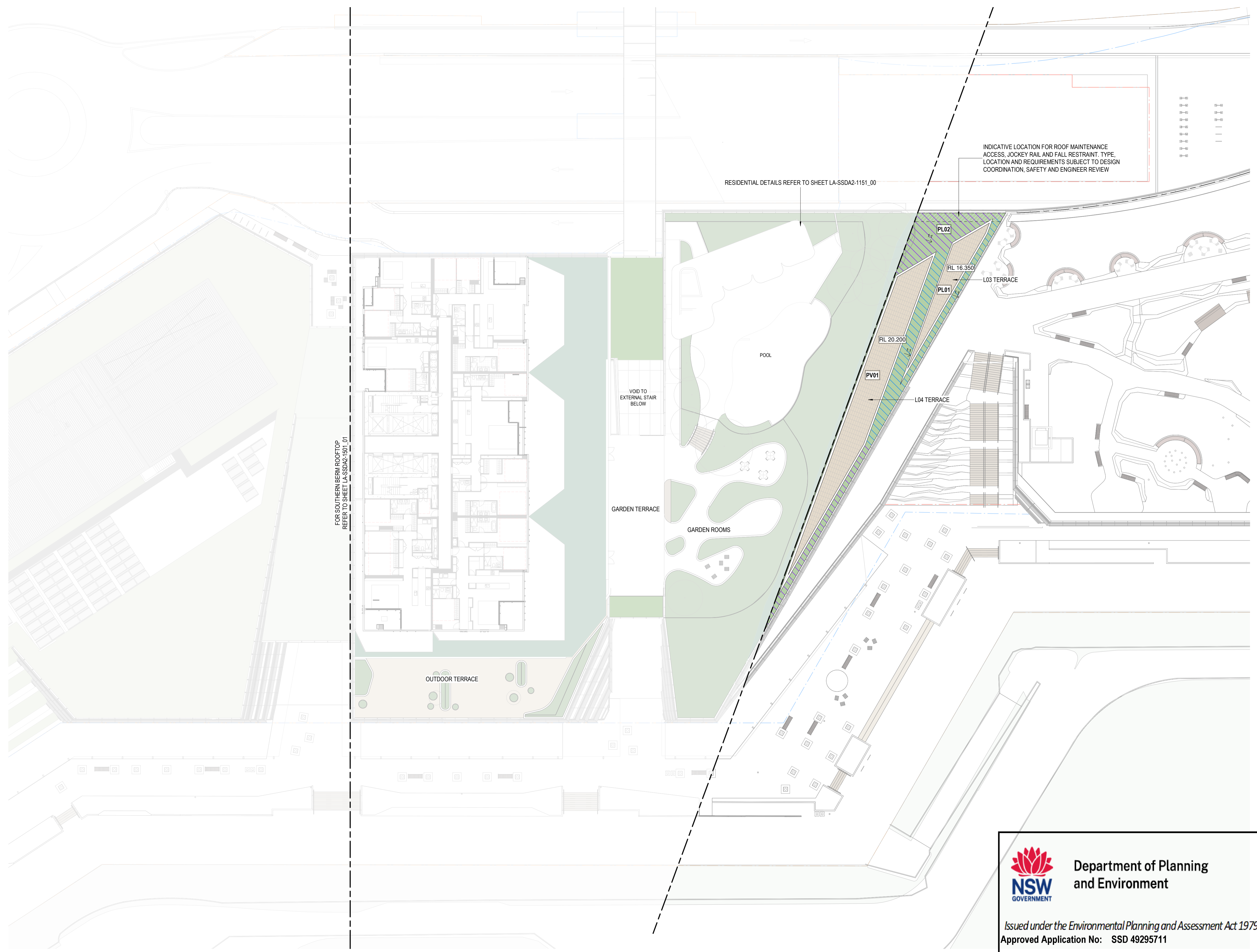


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 Approved Application No: SSD 49295711

Granted on: 4 December 2023

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REV	DESCRIPTION	DATE
A	FOR SSDA2 APPROVAL	02/11/2022
B	FOR SSDA2 RTS	13/06/2023

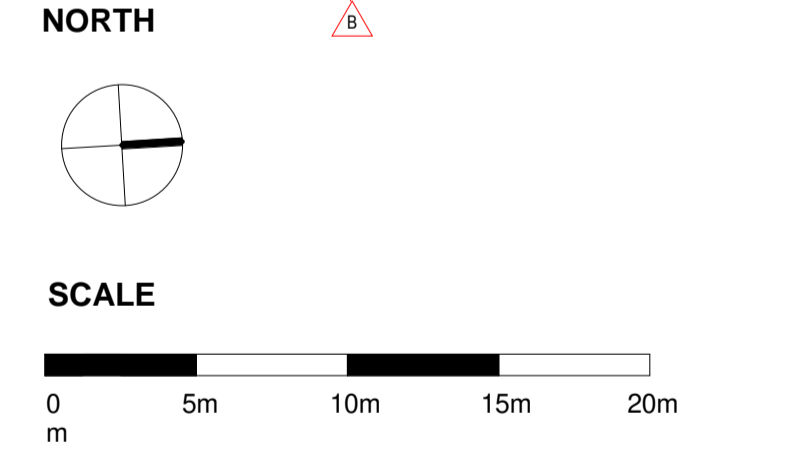
SOFTWORKS LEGEND

CODE	SYMBOL	DESCRIPTION
PL01		PLANTING TYPE 1 - PLANTING ON FLAT/GENTLE SLOPE GREEN ROOF DEPTH: 200-400mm
PL02		PLANTING TYPE 2 - TERRACE PLANTING ON STEEP SLOPE DEPTH: 200mm
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FOR MIX, POT SIZE & RATES REFER PLANTING SCHEDULES

MAINTENANCE ACCESS

CODE	SYMBOL	DESCRIPTION
-		RIGID RAIL SYSTEM
-		STATIC LINE SYSTEM
-		RAIL MOUNTED ROOF JOCKEY COVERAGE AREA
-		ROLLING JOCKEY COVERAGE AREA



CLIENT

PROJECT
 MIRVAC HARBOURSIDE
 2-10 DARLING DRIVE, SYDNEY, NSW 2000

DRAWING TITLE
 GENERAL ARRANGEMENT PLAN - NORTHERN GREEN ROOF

REVIEWED SW	SCALE @ A1 As indicated
APPROVED JC	PROJECT NO. 016133-61A-P
DRAWING NO. LA-SSDA2- 1501_02	REV NO. B

Department of Planning and Environment

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 Approved Application No: SSD 49295711

Granted on: 4 December 2023

Signed: AW Sheet No: 112 of 138

HARBOURSIDE CIVIL WORKS PACKAGE

SSDA2



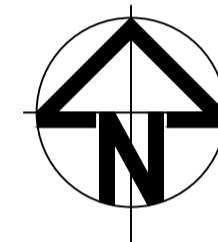
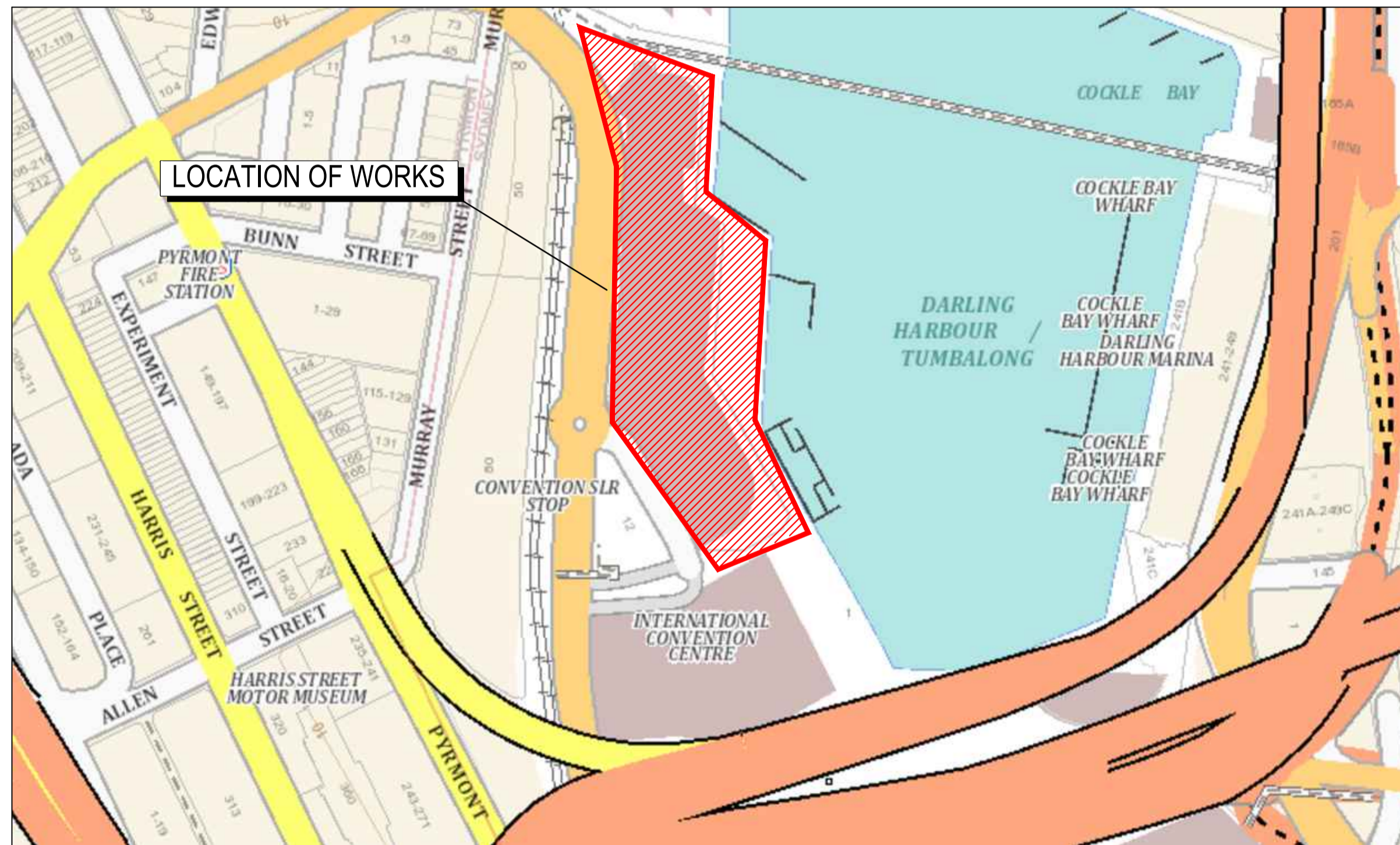
Department of Planning
and Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD 49295711

Granted on: 4 December 2023

Signed: AW Sheet No: 113 of 138



LOCALITY PLAN
N.T.S

DRAWING NUMBER

DRAWING TITLE

DRAWING NUMBER	DRAWING TITLE
GENERAL	
CIV-DWG-OA-2000	COVER SHEET, DRAWING LIST AND LOCALITY PLAN
CIV-DWG-OA-2001	GENERAL NOTES AND LEGENDS
CIV-DWG-OA-2003	GENERAL ARRANGEMENT PLAN
SITWORKS	
CIV-DWG-OA-2101	SITWORKS AND STORMWATER DRAINAGE PLAN SHEET 1
CIV-DWG-OA-2102	SITWORKS AND STORMWATER DRAINAGE PLAN SHEET 2
CIV-DWG-OA-2103	SITWORKS AND STORMWATER DRAINAGE PLAN SHEET 3
CIV-DWG-OA-2104	SITWORKS AND STORMWATER DRAINAGE PLAN SHEET 4
STORMWATER DRAINAGE	
CIV-DWG-OA-2501	STORMWATER MUSIC CATCHMENT PLAN
EROSION AND SEDIMENT CONTROL	
CIV-DWG-OA-2601	EROSION AND SEDIMENT CONTROL PLAN
CIV-DWG-OA-2602	EROSION AND SEDIMENT CONTROL DETAILS

Issue	Description	Date
D	ISSUED FOR RTS	26-06-23
C	ISSUE FOR APPROVAL	03-03-23
B	ISSUE FOR APPROVAL	05-11-22
A	ISSUE FOR APPROVAL	04-11-22

Bar Scales

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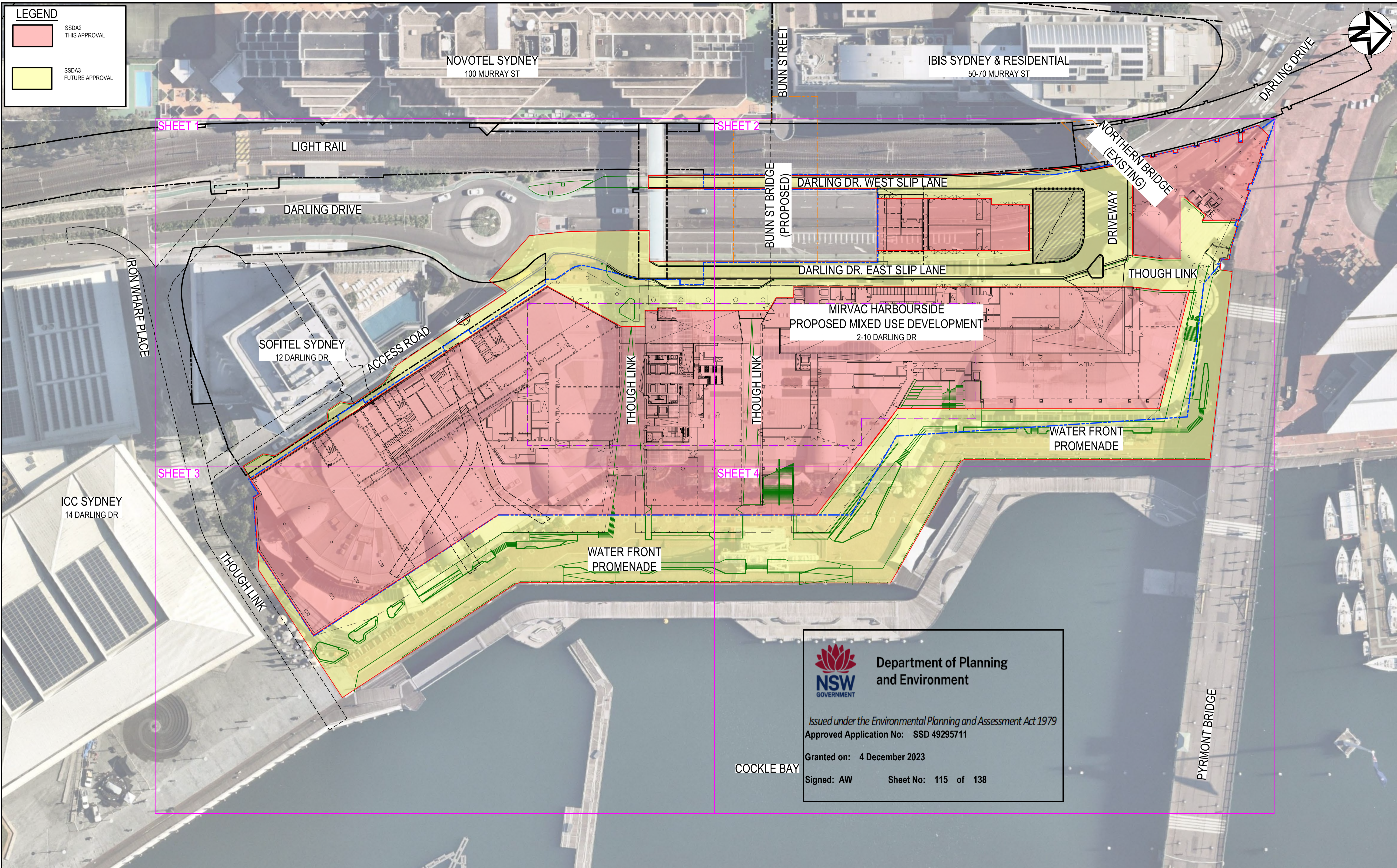
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NTS	Designed	CK
Grid GDA20 MGA56	Checked	GJ
Height Datum AHD	Approved	AT
SSD 7874 SSD 49295711		

Project	Title
MIRVAC HARBOURSIDE 2-10 DARLING DRIVE SYDNEY	COVER SHEET, DRAWING LIST AND LOCALITY PLAN

Civil Engineers and Project Managers

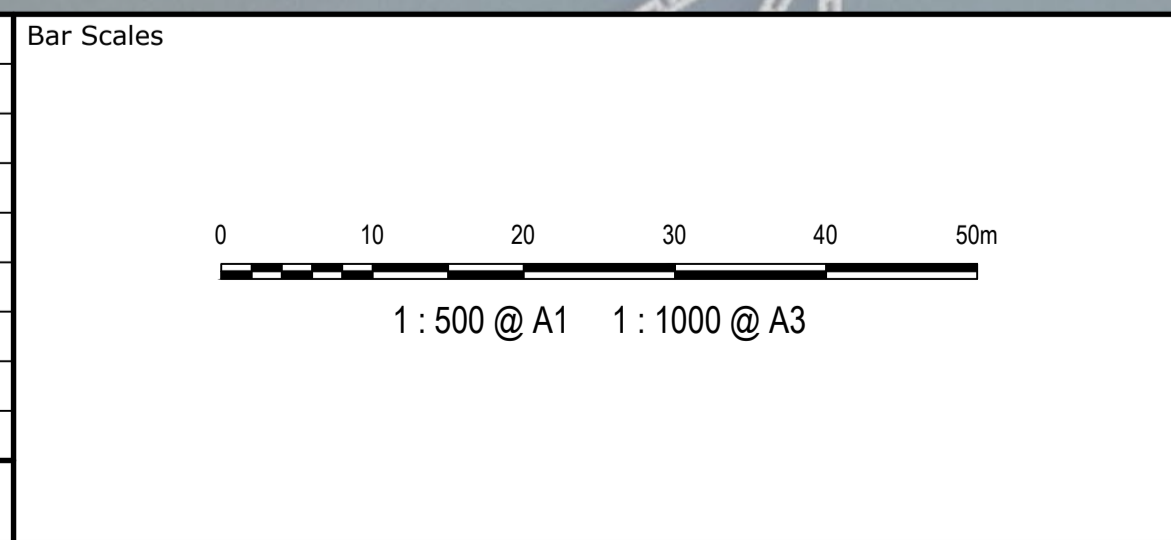
Level 7, 153 Walker Street
North Sydney NSW 2060
ABN 96 130 882 405
Tel: 02 9439 1777
Fax: 02 9923 1055
www.atl.net.au
info@atl.net.au

Status	FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION	A1
Project - Drawing No.	CIV-DWG-OA-2000	Issue
		D




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 Approved Application No: SSD 49295711
 Granted on: 4 December 2023
 Signed: AW Sheet No: 115 of 138

Issue	Description	Date
D	ISSUED FOR RTS	26-06-23
C	ISSUE FOR APPROVAL	03-03-23
B	ISSUE FOR APPROVAL	05-11-22
A	ISSUE FOR APPROVAL	04-11-22




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Scales	1:500	Drawn	CK
		Designed	CK
Grid	GDA20 MGA56	Checked	GJ
Height Datum	AHD	Approved	AT
SSD 7874 SSD 49259711			

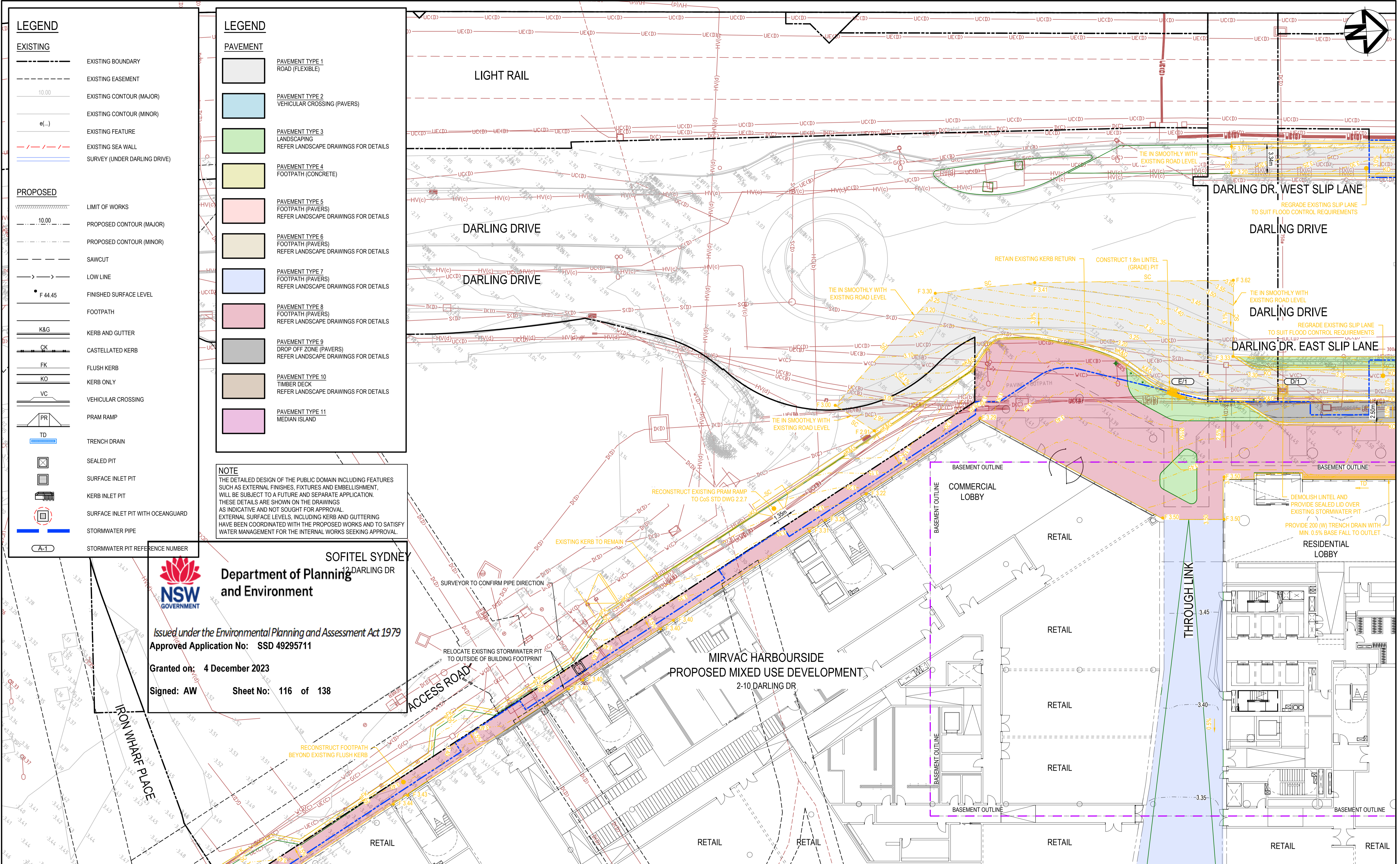
Project	MIRVAC HARBOURSIDE 2-10 DARLING DRIVE SYDNEY
Title	GENERAL ARRANGEMENT PLAN

Civil Engineers and Project Managers



Level 7, 153 Walker Street
North Sydney NSW 2060
ABN 96 130 882 405
Tel: 02 9439 1777
Fax: 02 9923 1055
www.atl.net.au
info@atl.net.au

Status	FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION	A1
Project - Drawing No.	CIV-DWG-OA-2003	Issue
		D



LEGEND

EXISTING

- EXISTING BOUNDARY
- EXISTING EASEMENT
- 10.00 EXISTING CONTOUR (MAJOR)
- e(...) EXISTING CONTOUR (MINOR)
- EXISTING FEATURE
- EXISTING SEA WALL
- SURVEY (UNDER DARLING DRIVE)

PROPOSED

- LIMIT OF WORKS
- 10.00 PROPOSED CONTOUR (MAJOR)
- PROPOSED CONTOUR (MINOR)
- SAWCUT
- LOW LINE
- F 44.45 FINISHED SURFACE LEVEL
- FOOTPATH
- K&G KERB AND GUTTER
- CK CASTELLATED KERB
- FK FLUSH KERB
- KO KERB ONLY
- VC VEHICULAR CROSSING
- PR PRAM RAMP
- TD TRENCH DRAIN
- SEALED PIT
- SURFACE INLET PIT
- KERB INLET PIT
- SURFACE INLET PIT WITH OCEANGUARD
- STORMWATER PIPE
- A-1 STORMWATER PIT REFERENCE NUMBER

LEGEND

PAVEMENT

- PAVEMENT TYPE 1 ROAD (FLEXIBLE)
- PAVEMENT TYPE 2 VEHICULAR CROSSING (PAVERS)
- PAVEMENT TYPE 3 LANDSCAPING REFER LANDSCAPE DRAWINGS FOR DETAILS
- PAVEMENT TYPE 4 FOOTPATH (CONCRETE)
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- PAVEMENT TYPE 8 FOOTPATH (PAVERS) REFER LANDSCAPE DRAWINGS FOR DETAILS
- PAVEMENT TYPE 9 DROP OFF ZONE (PAVERS) REFER LANDSCAPE DRAWINGS FOR DETAILS
- PAVEMENT TYPE 10 TIMBER DECK REFER LANDSCAPE DRAWINGS FOR DETAILS
- PAVEMENT TYPE 11 MEDIAN ISLAND

NOTE

THE DETAILED DESIGN OF THE PUBLIC DOMAIN INCLUDING FEATURES SUCH AS EXTERNAL FINISHES, FIXTURES AND EMBELLISHMENT, WILL BE SUBJECT TO A FUTURE AND SEPARATE APPLICATION. THESE DETAILS ARE SHOWN ON THE DRAWINGS AS INDICATIVE AND NOT SOUGHT FOR APPROVAL. EXTERNAL SURFACE LEVELS, INCLUDING KERB AND GUTTERING HAVE BEEN COORDINATED WITH THE PROPOSED WORKS AND TO SATISFY WATER MANAGEMENT FOR THE INTERNAL WORKS SEEKING APPROVAL.

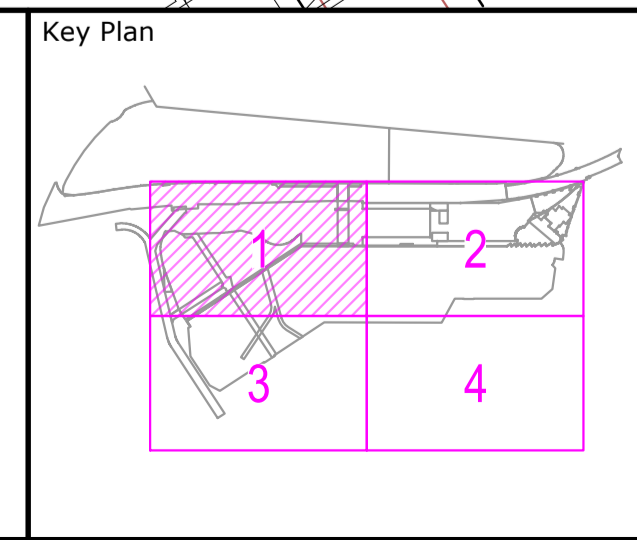
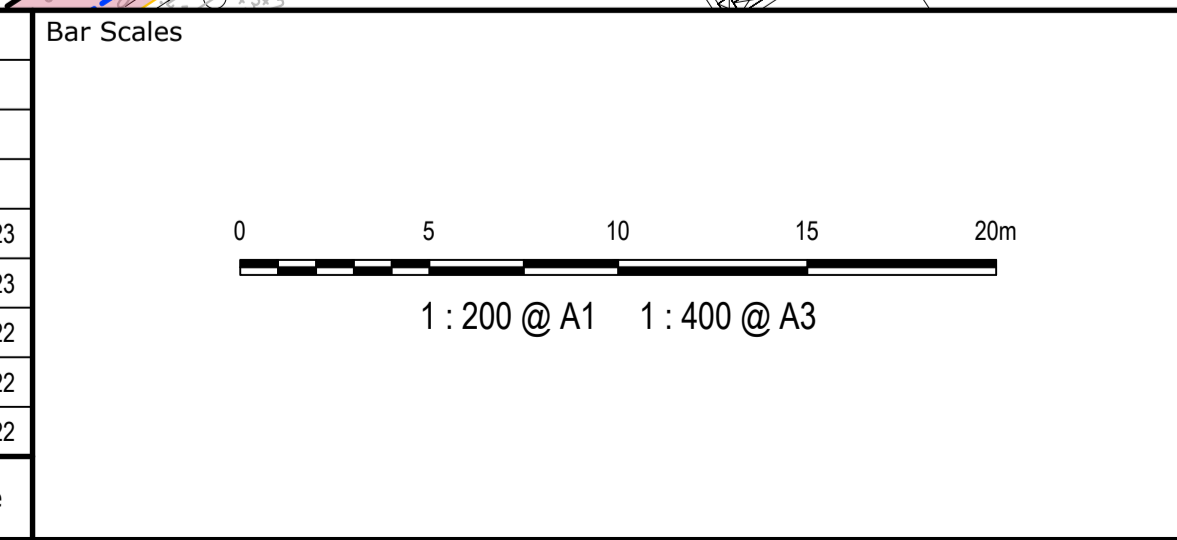
SOFITEL SYDNEY
12 DARLING DR

Department of Planning and Environment
NSW GOVERNMENT

Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: SSD 4925711

Granted on: 4 December 2023
Signed: AW Sheet No: 116 of 138

Issue	Description	Date
E	ISSUED FOR RTS	26-06-23
D	ISSUE FOR APPROVAL	03-03-23
C	ISSUE FOR APPROVAL	07-11-22
B	ISSUE FOR APPROVAL	05-11-22
A	ISSUE FOR APPROVAL	04-11-22



Scales	1:200	Drawn	CK
Grid	GDA20 MGA56	Designed	CK
Height Datum	AHD	Checked	GJ
		Approved	AT

SSD 7874
SSD 4925711

Project	MIRVAC HARBOURSIDE 2-10 DARLING DRIVE SYDNEY
Title	SITWORKS AND STORMWATER DRAINAGE PLAN SHEET 1

Civil Engineers and Project Managers

at&I

Level 7, 153 Walker Street
North Sydney NSW 2060
ABN 96 130 882 405
Tel: 02 9439 1777
Fax: 02 9923 1055
www.at.net.au
info@at.net.au

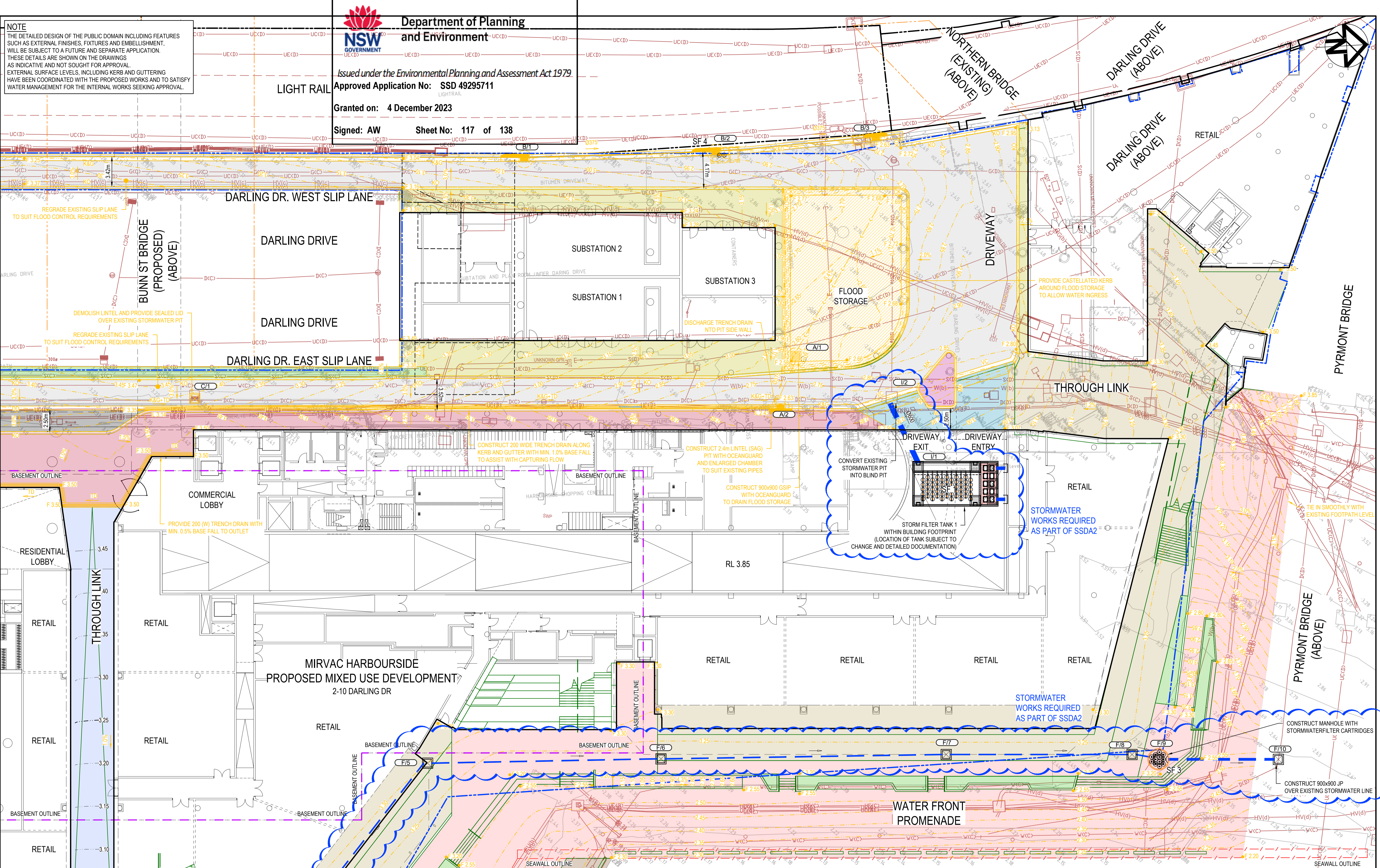
Status: **FOR APPROVAL**
NOT TO BE USED FOR CONSTRUCTION

Project - Drawing No. CIV-DWG-OA-2101

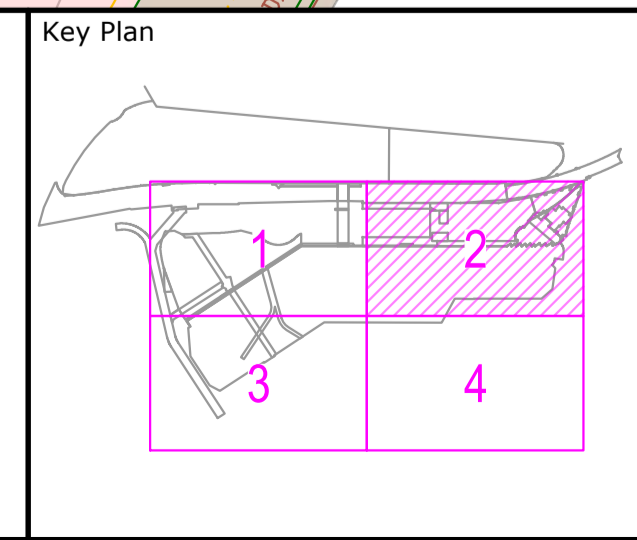
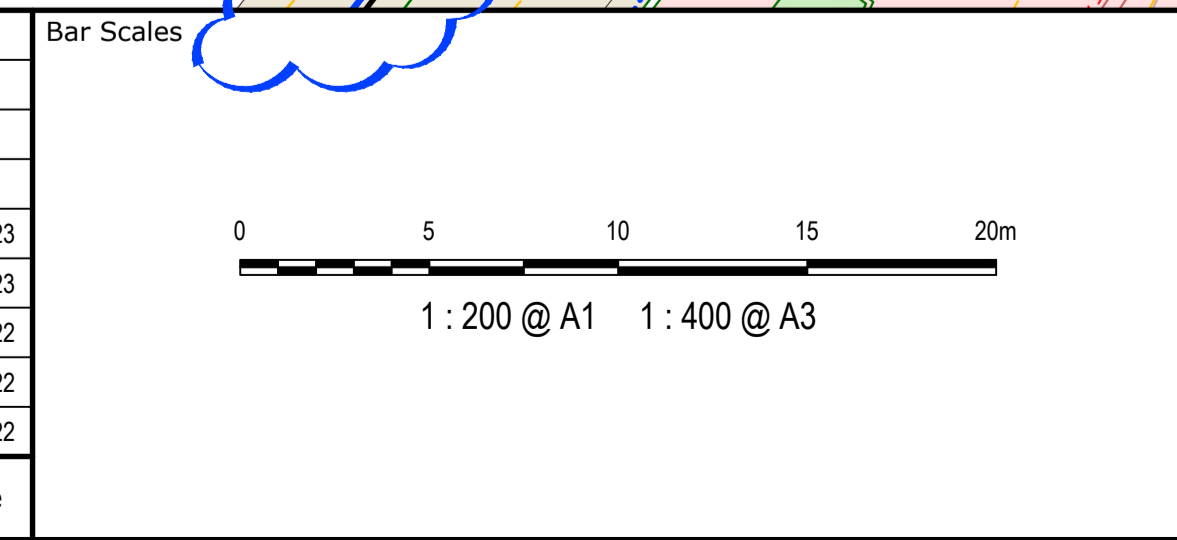
Issue: **A1**

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Department of Planning and Environment
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Issue	Description	Date
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C	ISSUE FOR APPROVAL	07-11-22
B	ISSUE FOR APPROVAL	05-11-22
A	ISSUE FOR APPROVAL	04-11-22



Scale	Drawn	Checked	Approved
1:200	CK	CK	GJ
Grid GDA20 MGA56	CK	GJ	AT
Height Datum AHD	CK	GJ	AT

Project
MIRVAC HARBOURSIDE
2-10 DARLING DRIVE SYDNEY

Title
SITWORKS AND STORMWATER DRAINAGE PLAN SHEET 2

SSD 7874
 SSD 49259711

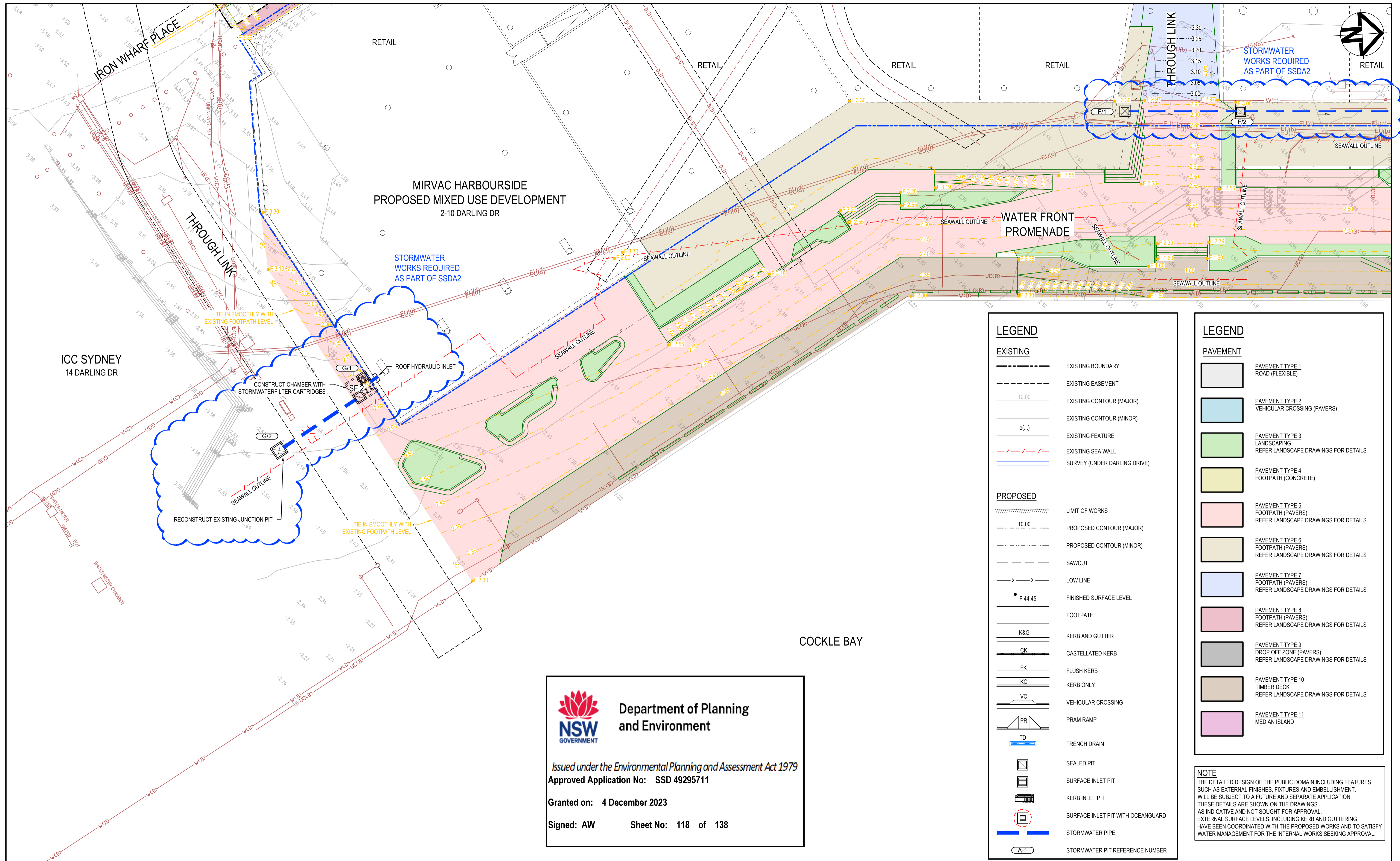
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 Fax: 02 9923 1055
 www.at.net.au
 info@at.net.au

Status
FOR APPROVAL
 NOT TO BE USED FOR CONSTRUCTION

Project - Drawing No.
CIV-DWG-OA-2102

Issue
E



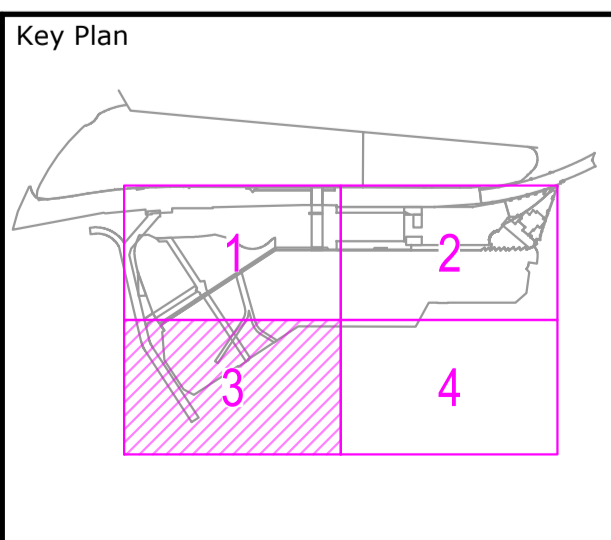
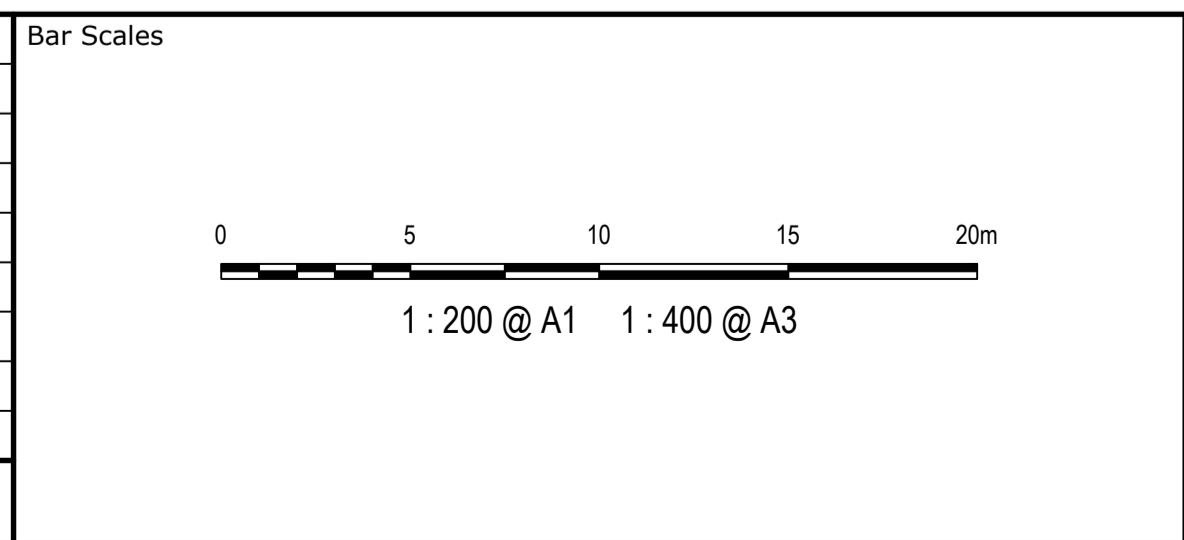
LEGEND	
EXISTING	
	EXISTING BOUNDARY
	EXISTING EASEMENT
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	EXISTING FEATURE
	EXISTING SEA WALL
	SURVEY (UNDER DARLING DRIVE)
PROPOSED	
	LIMIT OF WORKS
	PROPOSED CONTOUR (MAJOR)
	PROPOSED CONTOUR (MINOR)
	SAWCUT
	LOW LINE
	FINISHED SURFACE LEVEL
	FOOTPATH
	KERB AND GUTTER
	CASTELLATED KERB
	FLUSH KERB
	KERB ONLY
	VEHICULAR CROSSING
	PRAM RAMP
	TRENCH DRAIN
	SEALED PIT
	SURFACE INLET PIT
	KERB INLET PIT
	SURFACE INLET PIT WITH OCEANGUARD
	STORMWATER PIPE
	STORMWATER PIT REFERENCE NUMBER

LEGEND	
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	PAVEMENT TYPE 10 TIMBER DECK REFER LANDSCAPE DRAWINGS FOR DETAILS
	PAVEMENT TYPE 11 MEDIAN ISLAND

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Approved Application No: SSD 49295711
Granted on: 4 December 2023
Signed: AW **Sheet No: 118 of 138**

Issue	Description	Date
D	ISSUED FOR RTS	26-06-23
C	ISSUE FOR APPROVAL	03-03-23
B	ISSUE FOR APPROVAL	05-11-22
A	ISSUE FOR APPROVAL	04-11-22



Scales	1:200	Drawn	CK
Grid	GDA20 MGA56	Designed	CK
Height Datum	AHD	Checked	GJ
		Approved	AT
SSD 7874 SSD 49259711			

Project
**MIRVAC HARBOURSIDE
2-10 DARLING DRIVE
SYDNEY**

Title
**SITWORKS AND
STORMWATER DRAINAGE
PLAN
SHEET 3**

Civil Engineers and Project Managers

at&I

Level 7, 153 Walker Street
North Sydney NSW 2060
ABN 96 130 882 405
Tel: 02 9439 1777
Fax: 02 9923 1055
www.at.net.au
info@at.net.au

Status	FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION	Issue	A1
Project - Drawing No.	CIV-DWG-OA-2103	Issue	D




Department of Planning and Environment
Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: SSD 49295711
Granted on: 4 December 2023
Signed: AW Sheet No: 119 of 138

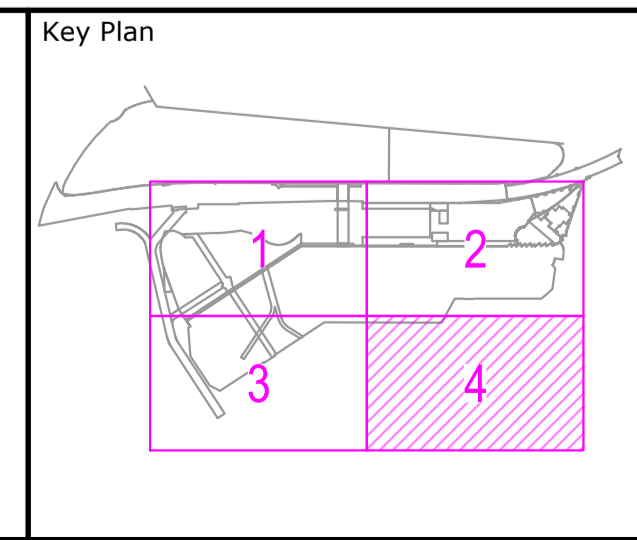
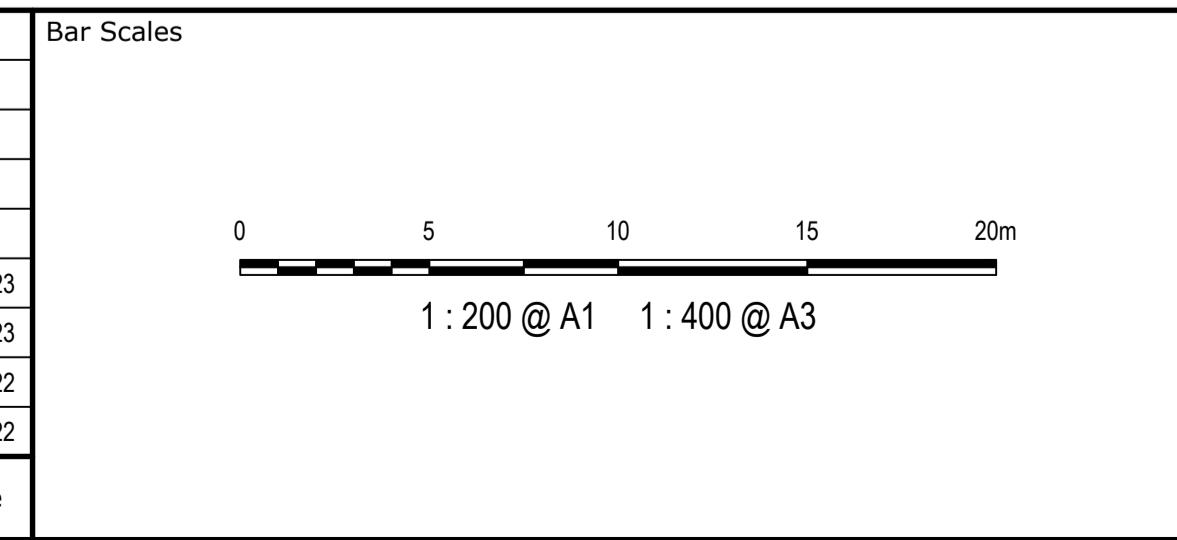
COCKLE BAY

LEGEND	
EXISTING	
	EXISTING BOUNDARY
	EXISTING EASEMENT
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	EXISTING FEATURE
	EXISTING SEA WALL
	SURVEY (UNDER DARLING DRIVE)
PROPOSED	
	LIMIT OF WORKS
	PROPOSED CONTOUR (MAJOR)
	PROPOSED CONTOUR (MINOR)
	SAWCUT
	LOW LINE
	FINISHED SURFACE LEVEL
	FOOTPATH
	K&G
	CASTELLATED KERB
	FLUSH KERB
	KERB ONLY
	VEHICULAR CROSSING
	PRAM RAMP
	TRENCH DRAIN
	SEALED PIT
	SURFACE INLET PIT
	KERB INLET PIT
	SURFACE INLET PIT WITH OCEANGUARD
	STORMWATER PIPE
	STORMWATER PIT REFERENCE NUMBER

LEGEND	
	PAVEMENT TYPE 1 ROAD (FLEXIBLE)
	PAVEMENT TYPE 2 VEHICULAR CROSSING (PAVERS)
	PAVEMENT TYPE 3 LANDSCAPING REFER LANDSCAPE DRAWINGS FOR DETAILS
	PAVEMENT TYPE 4 FOOTPATH (CONCRETE)
	PAVEMENT TYPE 5 FOOTPATH (PAVERS) REFER LANDSCAPE DRAWINGS FOR DETAILS
	PAVEMENT TYPE 6 FOOTPATH (PAVERS) REFER LANDSCAPE DRAWINGS FOR DETAILS
	PAVEMENT TYPE 7 FOOTPATH (PAVERS) REFER LANDSCAPE DRAWINGS FOR DETAILS
	PAVEMENT TYPE 8 FOOTPATH (PAVERS) REFER LANDSCAPE DRAWINGS FOR DETAILS
	PAVEMENT TYPE 9 DROP OFF ZONE (PAVERS) REFER LANDSCAPE DRAWINGS FOR DETAILS
	PAVEMENT TYPE 10 TIMBER DECK REFER LANDSCAPE DRAWINGS FOR DETAILS
	PAVEMENT TYPE 11 MEDIAN ISLAND

NOTE
 THE DETAILED DESIGN OF THE PUBLIC DOMAIN INCLUDING FEATURES SUCH AS EXTERNAL FINISHES, FIXTURES AND EMBELLISHMENT, WILL BE SUBJECT TO A FUTURE AND SEPARATE APPLICATION. THESE DETAILS ARE SHOWN ON THE DRAWINGS AS INDICATIVE AND NOT SOUGHT FOR APPROVAL. EXTERNAL SURFACE LEVELS, INCLUDING KERB AND GUTTERING HAVE BEEN COORDINATED WITH THE PROPOSED WORKS AND TO SATISFY WATER MANAGEMENT FOR THE INTERNAL WORKS SEEKING APPROVAL.

Issue	Description	Date
D	ISSUED FOR RTS	26-06-23
C	ISSUE FOR APPROVAL	03-03-23
B	ISSUE FOR APPROVAL	05-11-22
A	ISSUE FOR APPROVAL	04-11-22



Scales	1:200	Drawn	CK
Grid	GDA20 MGA56	Designed	CK
Height Datum	AHD	Checked	GJ
		Approved	AT
SSD 7874 SSD 49259711			

Project
MIRVAC HARBOURSIDE
2-10 DARLING DRIVE SYDNEY

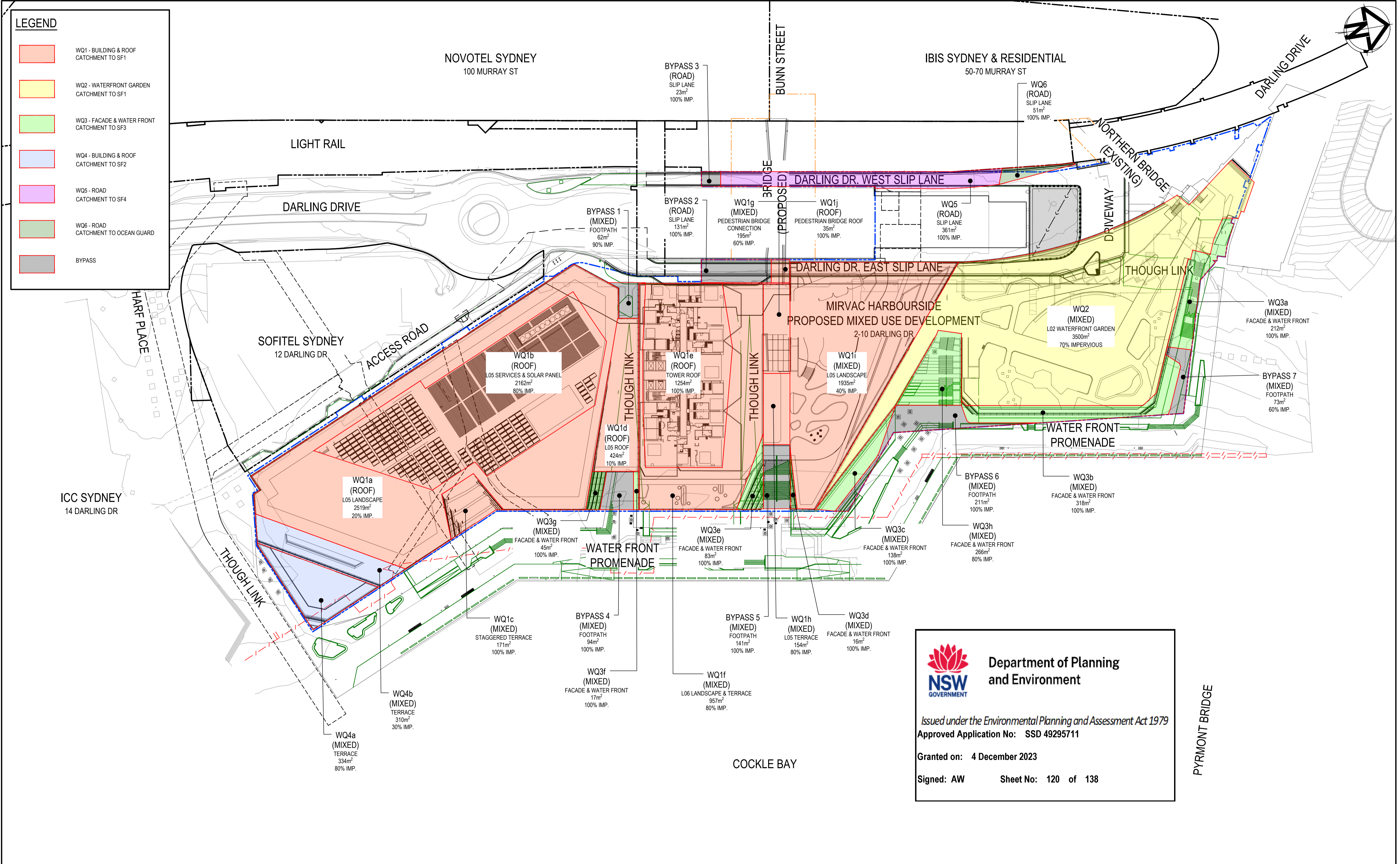
Title
SITWORKS AND STORMWATER DRAINAGE PLAN SHEET 4

Civil Engineers and Project Managers

at&I

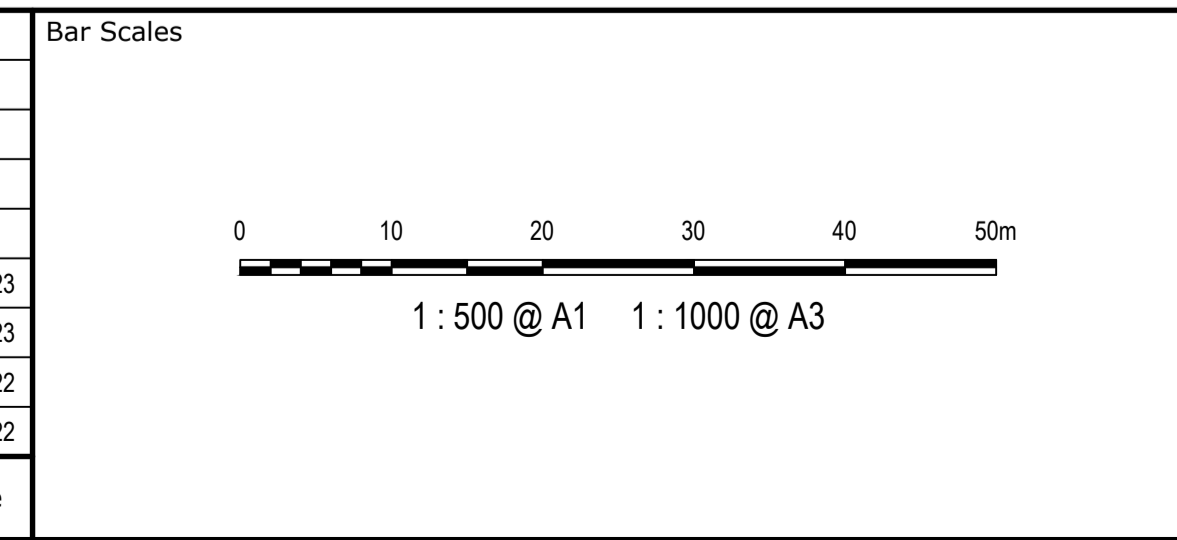
Level 7, 153 Walker Street
 North Sydney NSW 2060
 ABN 96 130 882 405
 Tel: 02 9439 1777
 Fax: 02 9923 1055
 www.atl.net.au
 info@atl.net.au

Status	FOR APPROVAL	A1
Project - Drawing No.	NOT TO BE USED FOR CONSTRUCTION	Issue
	CIV-DWG-OA-2104	D




Department of Planning and Environment
 Issued under the Environmental Planning and Assessment Act 1979
 Approved Application No: SSD 49295711
 Granted on: 4 December 2023
 Signed: AW Sheet No: 120 of 138

Issue	Description	Date
D	ISSUED FOR RTS	26-06-23
C	ISSUE FOR APPROVAL	03-03-23
B	ISSUE FOR APPROVAL	05-11-22
A	ISSUE FOR APPROVAL	04-11-22




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Scales	1:500	Drawn	CK
		Designed	CK
Grid	GDA20 MGA56	Checked	GJ
Height Datum	AHD	Approved	AT
SSD 7874 SSD 49259711			

Project	MIRVAC HARBOURSIDE 2-10 DARLING DRIVE SYDNEY
Title	STORMWATER MUSIC CATCHMENT PLAN

Civil Engineers and Project Managers



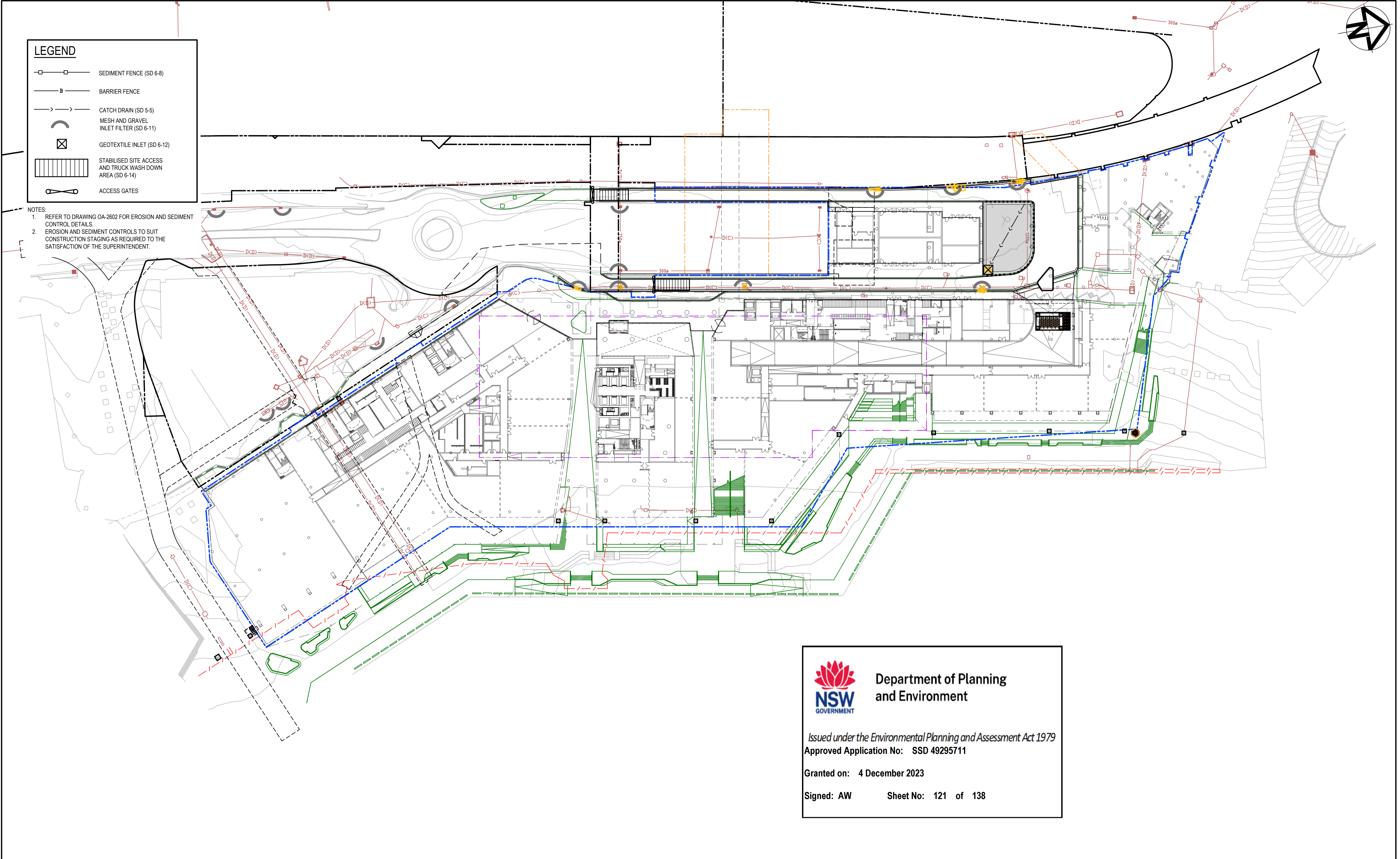
Level 7, 153 Walker Street
North Sydney NSW 2060
ABN 96 130 882 405
Tel: 02 9439 1777
Fax: 02 9923 1055
www.atl.net.au
info@atl.net.au

Status	FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION	A1
Project - Drawing No.	CIV-DWG-OA-2501	Issue
		D

LEGEND

	SEDIMENT FENCE (SD 6-8)
	BARRIER FENCE
	CATCH DRAIN (SD 5-5)
	MESH AND GRAVEL INLET FILTER (SD 6-11)
	GEOTEXTILE INLET (SD 6-12)
	STABILISED SITE ACCESS AND TRUCK WASH DOWN AREA (SD 6-14)
	ACCESS GATES

NOTES:
 1. REFER TO DRAWING OA-2602 FOR EROSION AND SEDIMENT CONTROL DETAILS.
 2. EROSION AND SEDIMENT CONTROLS TO SUIT CONSTRUCTION STAGING AS REQUIRED TO THE SATISFACTION OF THE SUPERINTENDENT.



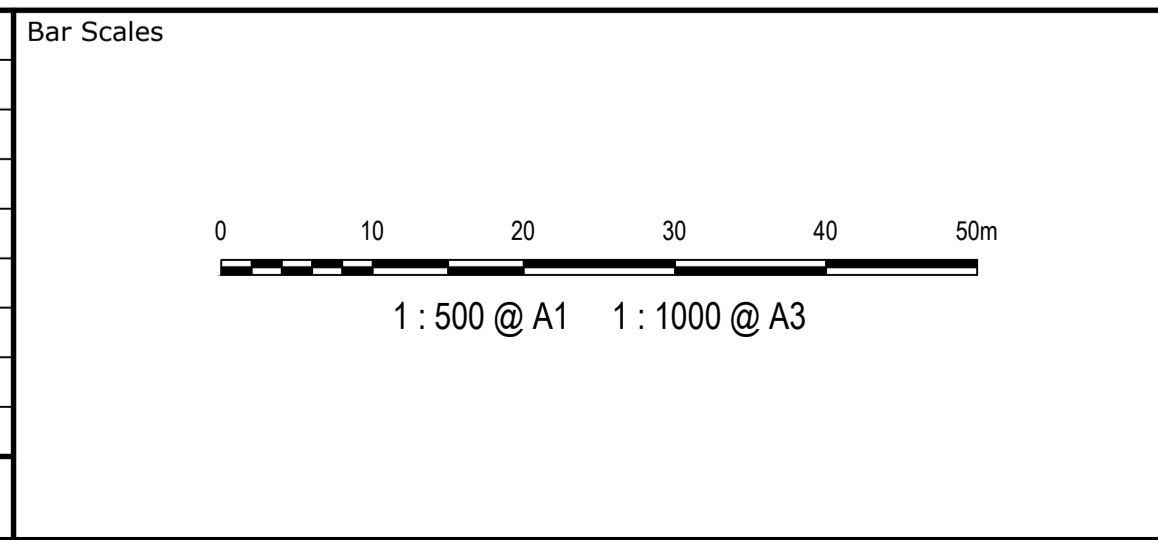
 **Department of Planning and Environment**

Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: SSD 49295711

Granted on: 4 December 2023

Signed: AW **Sheet No: 121 of 138**

Issue	Description	Date
D	ISSUED FOR RTS	26-06-23
C	ISSUE FOR APPROVAL	03-03-23
B	ISSUE FOR APPROVAL	05-11-22
A	ISSUE FOR APPROVAL	04-11-22



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Scales	1:500	Drawn	CK
		Designed	CK
Grid	GDA20 MGA56	Checked	GJ
Height Datum	AHD	Approved	AT
SSD 7874 SSD 49259711			


Project

MIRVAC HARBOURSIDE
2-10 DARLING DRIVE SYDNEY

Title

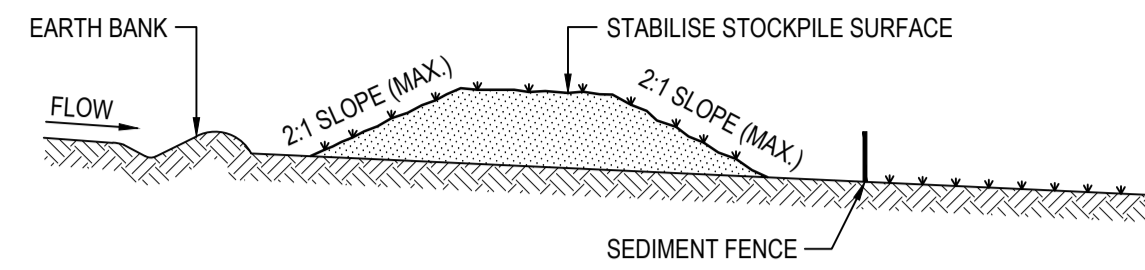
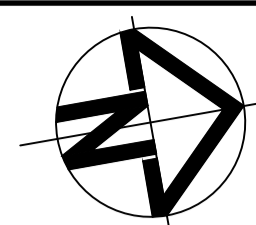
EROSION AND SEDIMENT CONTROL PLAN

Civil Engineers and Project Managers



Level 7, 153 Walker Street
 North Sydney NSW 2060
 ABN 96 130 882 405
 Tel: 02 9439 1777
 Fax: 02 9923 1055
 www.atl.net.au
 info@atl.net.au

Status	FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION	Issue	A1
Project - Drawing No.	CIV-DWG-OA-2601	Issue	D

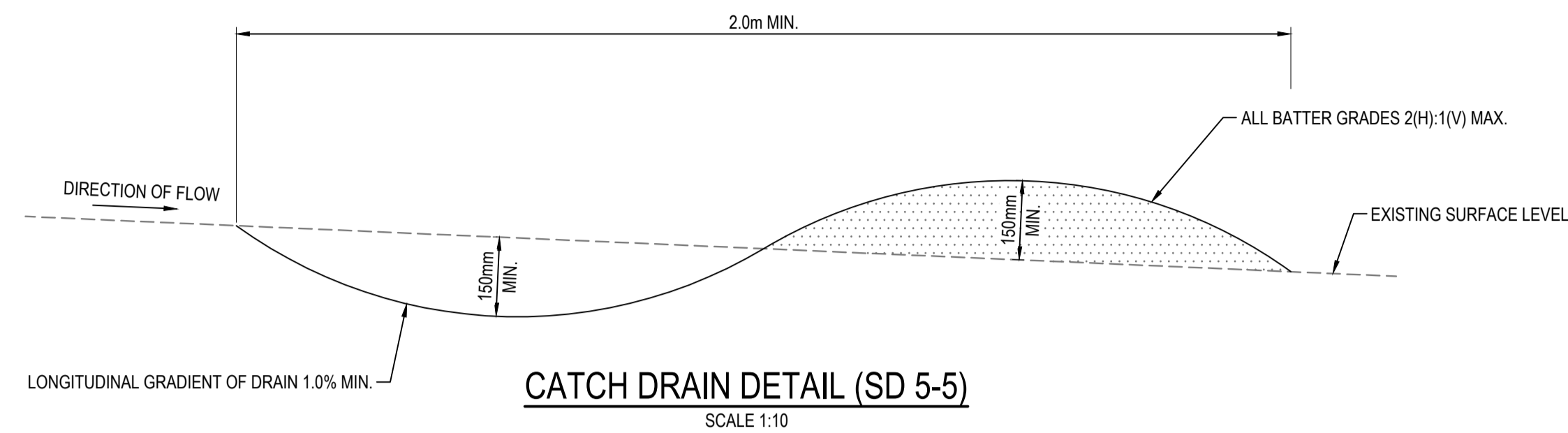


STOCKPILE CONSTRUCTION NOTES:

1. PLACE STOCKPILES MORE THAN 2 (PREFERABLY 5) METRES FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METRES IN HEIGHT.
4. WHERE THEY ARE TO BE PLACED FOR MORE THAN 10 DAYS, STABILISE FOLLOWING THE APPROVED E.S.C.P. OR S.W.M.P. TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
5. CONSTRUCT EARTH BANKS ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES 1 TO 2 METRES DOWNSLOPE.

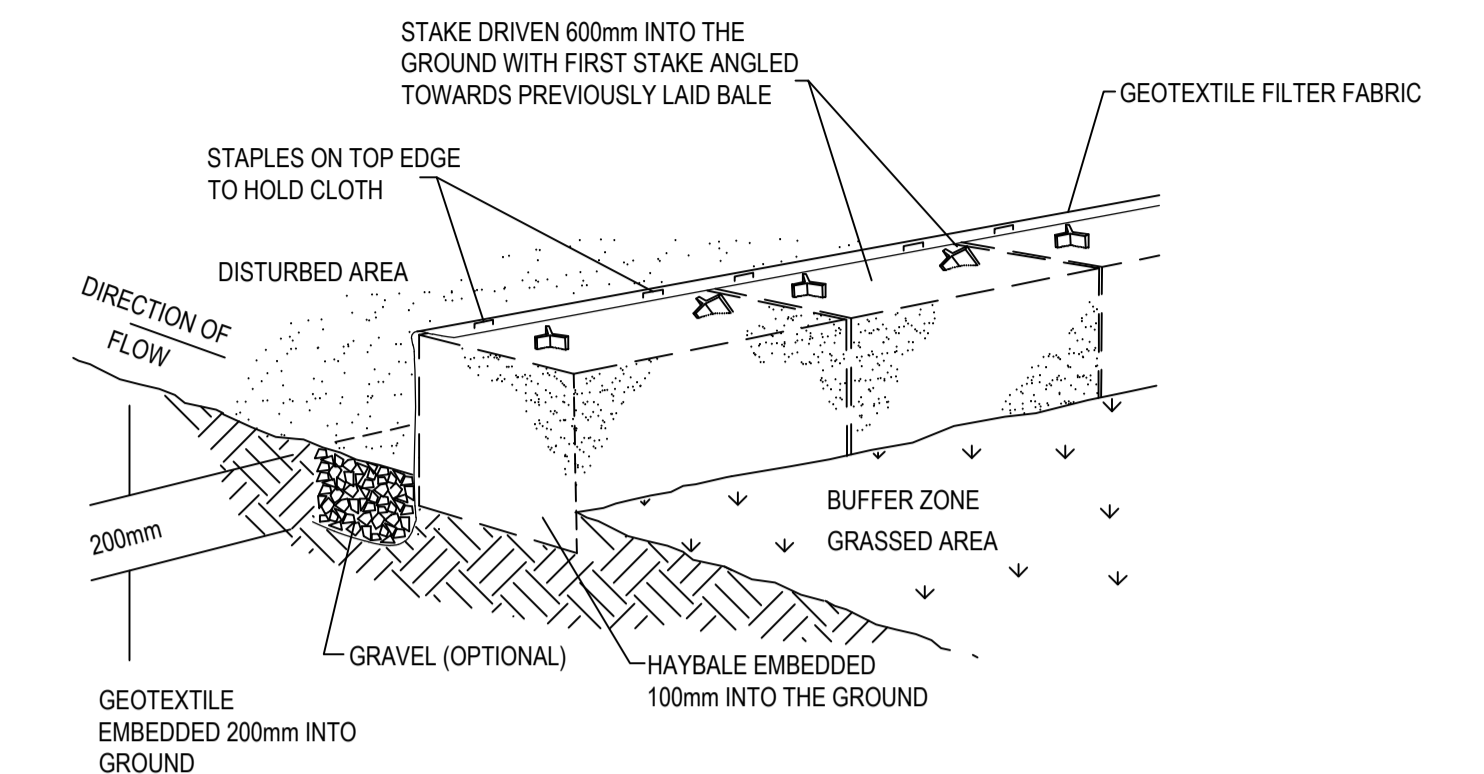
STOCKPILE SECTION (SD 4-1)

SCALE N.T.S.



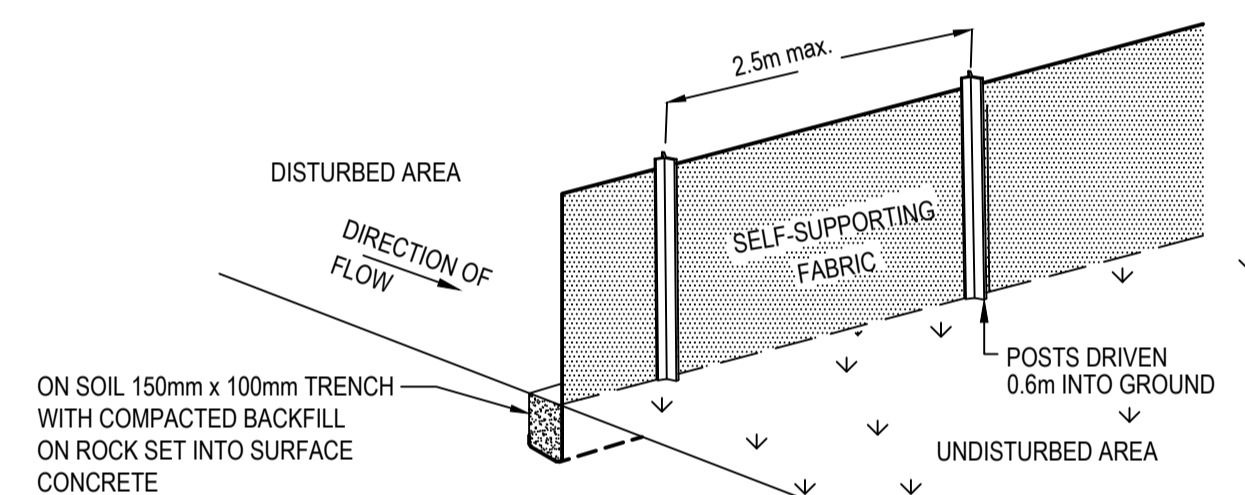
CATCH DRAIN DETAIL (SD 5-5)

SCALE 1:10



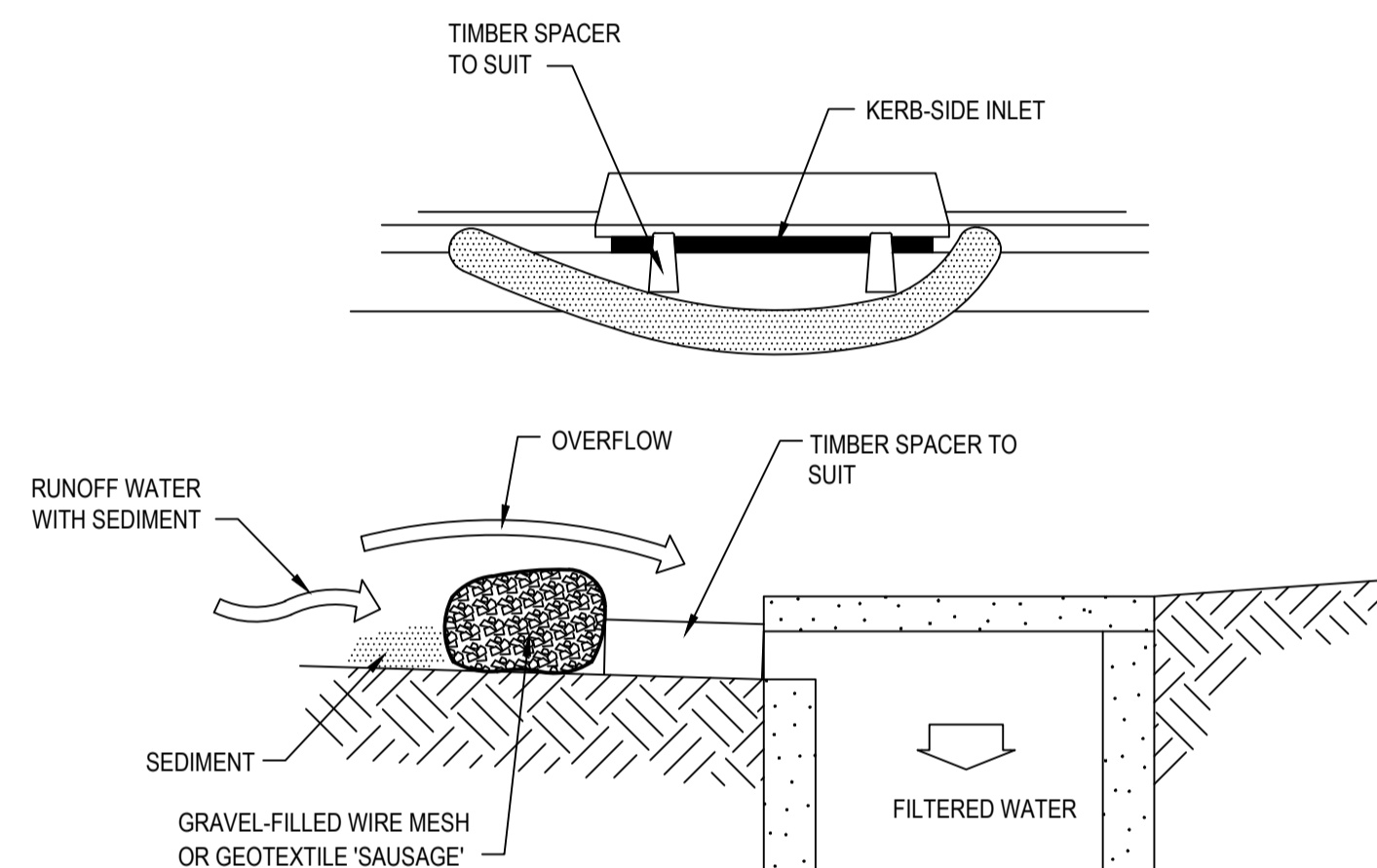
HAYBALE AND GEOTEXTILE SEDIMENT FILTER (SD 6-7)

NTS



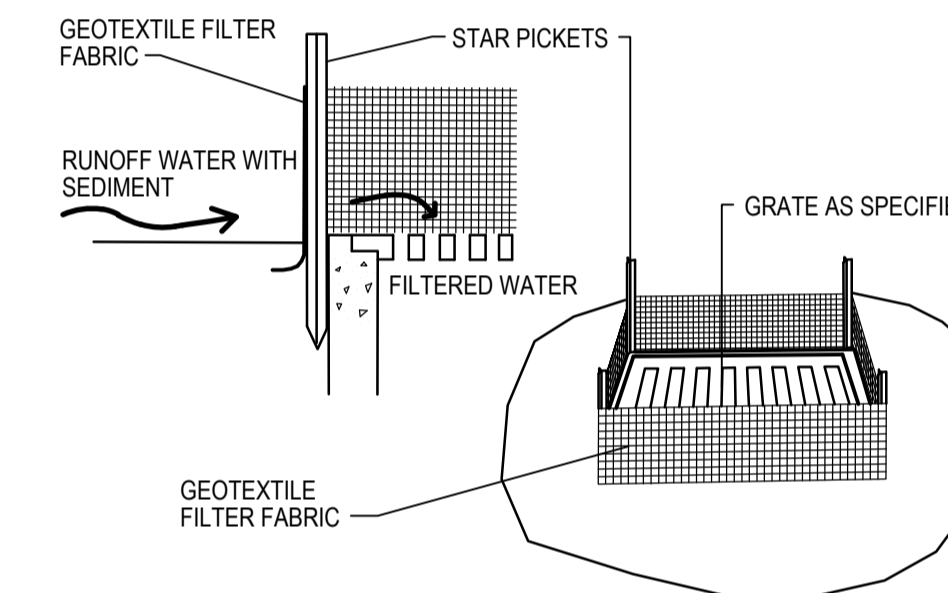
SEDIMENT FENCE (SD 6-8)

NTS



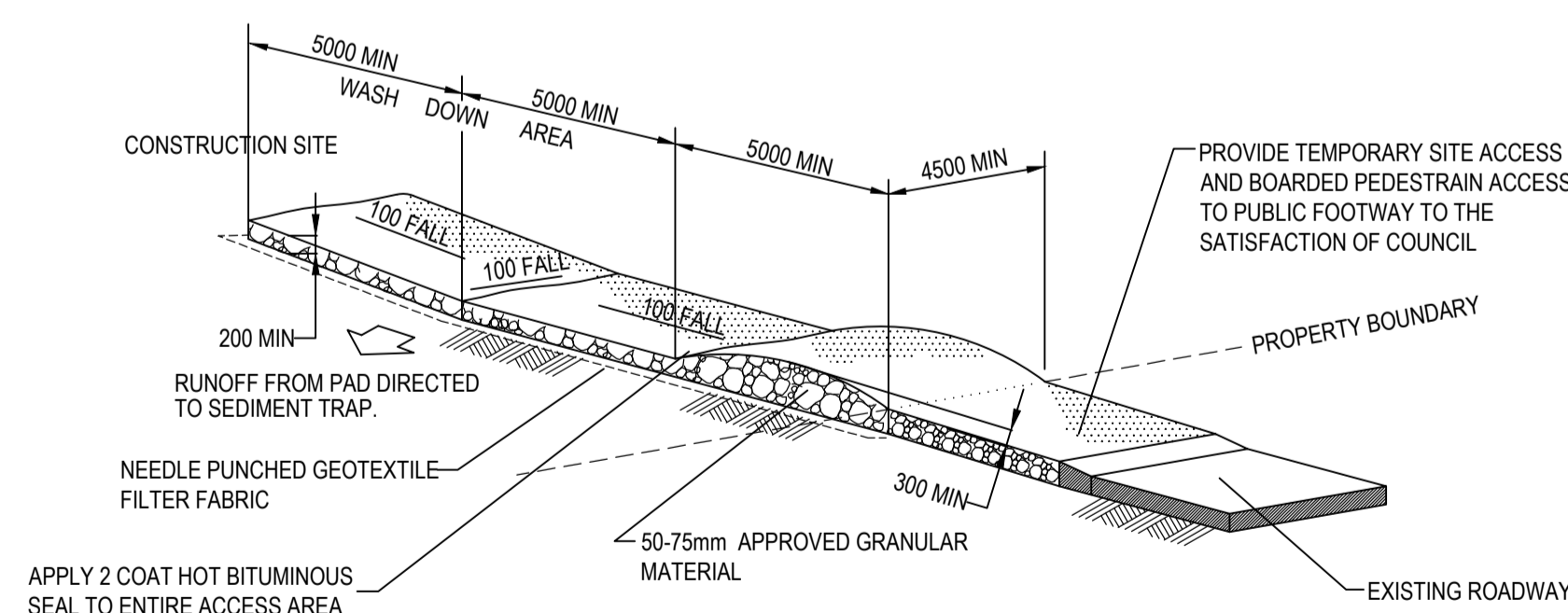
MESH AND GRAVEL INLET FILTER (SD 6-11)

NTS



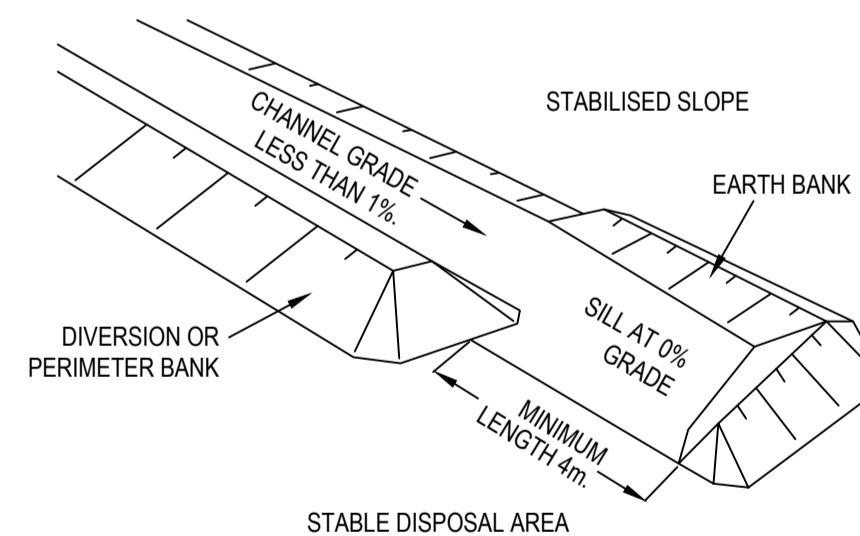
GEOTEXTILE FILTER PIT SURROUND (SD 6-12)

NTS



STABILISED SITE ACCESS AND TRUCK WASH DOWN AREA (SD 6-14)

NTS



LEVEL SPREADER (OR SILL)

NTS



Department of Planning and Environment

Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: SSD 49295711

Granted on: 4 December 2023

Signed: AW **Sheet No: 122 of 138**

Issue	Description	Date
D	ISSUED FOR RTS	26-06-23
C	ISSUE FOR APPROVAL	03-03-23
B	ISSUE FOR APPROVAL	05-11-22
A	ISSUE FOR APPROVAL	04-11-22

Bar Scales

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Client	SSD 7874 SSD 49259711
--------	--------------------------

Scales	NTS
Grid	GDA20 MGA56
Height Datum	AHD
Drawn	CK
Designed	CK
Checked	GJ
Approved	AT
Project	MIRVAC HARBOURSIDE 2-10 DARLING DRIVE SYDNEY
Title	EROSION AND SEDIMENT CONTROL DETAILS

Civil Engineers and Project Managers	
at&l	
Level 7, 153 Walker Street North Sydney NSW 2060 ABN 96 130 882 405 Tel: 02 9439 1777 Fax: 02 9923 1055 www.at.net.au info@at.net.au	
Status	FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION
Project - Drawing No.	CIV-DWG-OA-2602
Issue	D

DEPOSITED PLAN ADMINISTRATION SHEET

Sheet 1 of 4 sheet(s)

Office Use Only

Office Use Only

Registered:

DRAFT - STRATUM SUB

ISSUE 04 - PRINTED 7 NOV 2022

LEVEL 5 UPDATED - DDW

Title System:

PLAN OF PROPOSED SUBDIVISION OF
 LOTS 1 TO 10 IN DP 776815
 LOTS 12, 14, 15 & 17 IN DP 776815 AND
 LOT 2015 IN DP 1234971 BEING PART OF
 AN AGREEMENT FOR LEASE

LGA: SYDNEY
 Locality: DARLING HARBOUR
 Parish: ST. ANDREW
 County: CUMBERLAND

Survey Certificate

Crown Lands NSW/Western Lands Office Approval

I, **MARK JOHN ANDREW**
 Beveridge Williams & Co Pty Ltd
 of 65-69 Kent Street, Sydney 2000
 a surveyor registered under the Surveying and Spatial Information Act 2002, certify that:

I, (Authorised Officer) in
 approving this plan certify that all necessary approvals in regard to the
 allocation of the land shown herein have been given.

Signature:

Date:

File Number:

Office:

(a) The land shown in the plan was surveyed in accordance with the
Surveying and Spatial Information Regulation 2017, is accurate
 and the survey was completed on **SURVEY DATE**, or

(b) ~~The part of the land shown in the plan (being / excluding
)
 was surveyed in accordance with the *Surveying and Spatial
 Information Regulation 2017*, the part surveyed is accurate and the
 survey was completed on, the part not surveyed
 was compiled in accordance with that Regulation, or~~

(c) ~~The land shown in this plan was compiled in accordance with the
Surveying and Spatial Information Regulation 2017.~~

Datum Line:

Type: ~~Urban / Rural~~

The terrain is ~~Level-Undulating / Steep Mountainous~~

Signature: Dated:

Surveyor Identification No:
 Surveyor registered under
 the *Surveying and Spatial Information Act 2002*

* Strike out inappropriate words.

** Specify the land actually surveyed or specify any land shown in the plan that
 is not the subject of the survey.

Subdivision Certificate

I,
 * Authorised Person / * General Manager / * Registered Certifier, certify that
 the provisions of s.6.15 of the Environmental Planning and Assessment
 Act 1979 have been satisfied in relation to the proposed subdivision,
 new road or reserve set out herein.

Signature:

Registration Number :

Consent Authority :

Date of Endorsement:

Subdivision Certificate number :

File number :

* Strike through if inapplicable

Plans used in the preparation of survey/compilation

Statements of intention to dedicate public roads, create public reserves
 and drainage reserves, acquire/resume land.



**Department of Planning
 and Environment**

Issued under the Environmental Planning and Assessment Act 1979
 Approved Application No: SSD 49295711

Granted on: 4 December 2023

Signed: AW Sheet No: 123 of 138

Surveyor's Reference: 2000767 DSUB

Signatures, Seals and Section 88B statements should appear on
 PLAN FORM 6A

Office Use Only

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Registered:

DRAFT - STRATUM SUB

ISSUE 04 - PRINTED 7 NOV 2022

LEVEL 5 UPDATED - DDW

PLAN OF PROPOSED SUBDIVISION OF
LOTS 1 TO 10 IN DP 776815
LOTS 12, 14, 15 & 17 IN DP 776815 AND
LOT 2015 IN DP 1234971 BEING PART OF
AN AGREEMENT FOR LEASE

This sheet is for the provision of the following information as required:

- A schedule of lots and addresses - See 60(c) SSI Regulation 2017
- Statements of intention to create and release affecting interests in accordance with section 88B Conveyancing Act 1919
- Signatures and seals - see 195D Conveyancing Act 1919
- Any information which cannot fit in in the appropriate panel of sheet 1 of the administration sheets.

Subdivision Certificate number :

Date of Endorsement :

SCHEDULE OF LOTS & ADDRESSES

LOT	STREET NUMBER	STREET NAME	STREET TYPE	LOCALITY
1	10	DARLING	DRIVE	SYDNEY
2	10	DARLING	DRIVE	SYDNEY
3	10	DARLING	DRIVE	SYDNEY

PURSUANT TO SECTION 88 B OF THE CONVEYANCING ACT 1919 AS AMENDED AND IN TERMS OF THE ACCOMPANYING INSTRUMENT IT IS INTENDED

TO CREATE

1. EASEMENT FOR ACCESS VARIABLE WIDTH (LIMITED IN STRATUM) (2A)
2. EASEMENT TO ACCESS AND USE LOADING DOCK (VARIABLE WIDTH (LIMITED IN STRATUM) (2B)
3. EASEMENT FOR ACCESS BY FOOT VARIABLE WIDTH (LIMITED IN STRATUM) (2C)
4. EASEMENT FOR PUBLIC AND RECREATION PURPOSES ACCESS VARIABLE WIDTH (LIMITED IN STRATUM) (2D)
5. EASEMENT FOR PUBLIC ACCESS VARIABLE WIDTH (LIMITED IN STRATUM) (2E)
6. RIGHT OF ACCESS VARIABLE WIDTH (LIMITED IN STRATUM) (2F)
7. EASEMENT FOR SUPPORT VARIABLE WIDTH (LIMITED IN STRATUM) (2H)
8. EASEMENT FOR PUBLIC PEDESTRIAN TO BUNN STREET BRIDGE VARIABLE WIDTH (LIMITED IN STRATUM) (2J)
9. EASEMENT FOR SUPPORT AND SHELTER (WHOLE OF LOT)
10. EASEMENT FOR SERVICES (WHOLE OF LOT)
11. EASEMENT FOR EMERGENCY EGRESS (WHOLE OF LOT)
12. EASEMENT TO ACCESS SHARED FACILITIES (WHOLE OF LOT)
13. EASEMENT FOR CONSTRUCTION ACCESS (WHOLE OF LOT)
14. RIGHT TO USE GOODS LIFT (LIMITED IN STRATUM) (2K)
15. EASEMENT FOR LIGHT & AIR (LA)



Department of Planning
and Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD 49295711

Granted on: 4 December 2023

Signed: AW

Sheet No: 124 of 138

If space is insufficient use additional annexure sheet

Surveyor's Reference: 2000767 DSUB

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Registered:

PLAN OF PROPOSED SUBDIVISION OF
 LOTS 1 TO 10 IN DP 776815
 LOTS 12, 14, 15 & 17 IN DP 776815 AND
 LOT 2015 IN DP 1234971 BEING PART OF
 AN AGREEMENT FOR LEASE

DRAFT - STRATUM SUB

ISSUE 04 - PRINTED 7 NOV 2022


LEVEL 5 UPDATED - DDW

Subdivision Certificate number :

Date of Endorsement :

This sheet is for the provision of the following information as required:

- A schedule of lots and addresses - See 60(c) SSI Regulation 2017
- Statements of intention to create and release affecting interests in accordance with section 88B Conveyancing Act 1919
- Signatures and seals - see 195D Conveyancing Act 1919
- Any information which cannot fit in in the appropriate panel of sheet 1 of the administration sheets.



**Department of Planning
and Environment**

Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: SSD 49295711

Granted on: 4 December 2023

Signed: AW Sheet No: 125 of 138

If space is insufficient use additional annexure sheet

Surveyor's Reference: 2000767 DSUB

Office Use Only

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Registered:

PLAN OF PROPOSED SUBDIVISION OF
 LOTS 1 TO 10 IN DP 776815
 LOTS 12, 14, 15 & 17 IN DP 776815 AND
 LOT 2015 IN DP 1234971 BEING PART OF
 AN AGREEMENT FOR LEASE

DRAFT - STRATUM SUB

ISSUE 04 - PRINTED 7 NOV 2022

LEVEL 5 UPDATED - DDW

Subdivision Certificate number :

Date of Endorsement :

This sheet is for the provision of the following information as required:

- A schedule of lots and addresses - See 60(c) SSI Regulation 2017
- Statements of intention to create and release affecting interests in accordance with section 88B Conveyancing Act 1919
- Signatures and seals - see 195D Conveyancing Act 1919
- Any information which cannot fit in in the appropriate panel of sheet 1 of the administration sheets.



**Department of Planning
 and Environment**

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: SSD 49295711

Granted on: 4 December 2023

Signed: AW Sheet No: 126 of 138

If space is insufficient use additional annexure sheet

Surveyor's Reference: 2000767 DSUB

- LOT 1 - RETAIL
- LOT 2 - COMMERCIAL
- LOT 3 - RESIDENTIAL

APPROX STRATUM LEVELS
 BASEMENT 4 = -VE 7.5 AND BELOW
 BASEMENT 3 = -VE 7.5 TO -VE 4.5
 BASEMENT 2 = -VE 4.5 TO -VE 1.5
 BASEMENT 1 = -VE 1.5 TO 3.5
 GROUND = 3.5 TO 8.5
 LEVEL 1 = 8.5 TO 12.5
 LEVEL 2 = 12.5 TO 16.3
 LEVEL 3 = 16.3 TO 20.1
 LEVEL 4 = 20.1 TO 24.0
 LEVEL 5 = 24.0 TO 27.9
 LEVEL 9 = 27.9 AND ABOVE

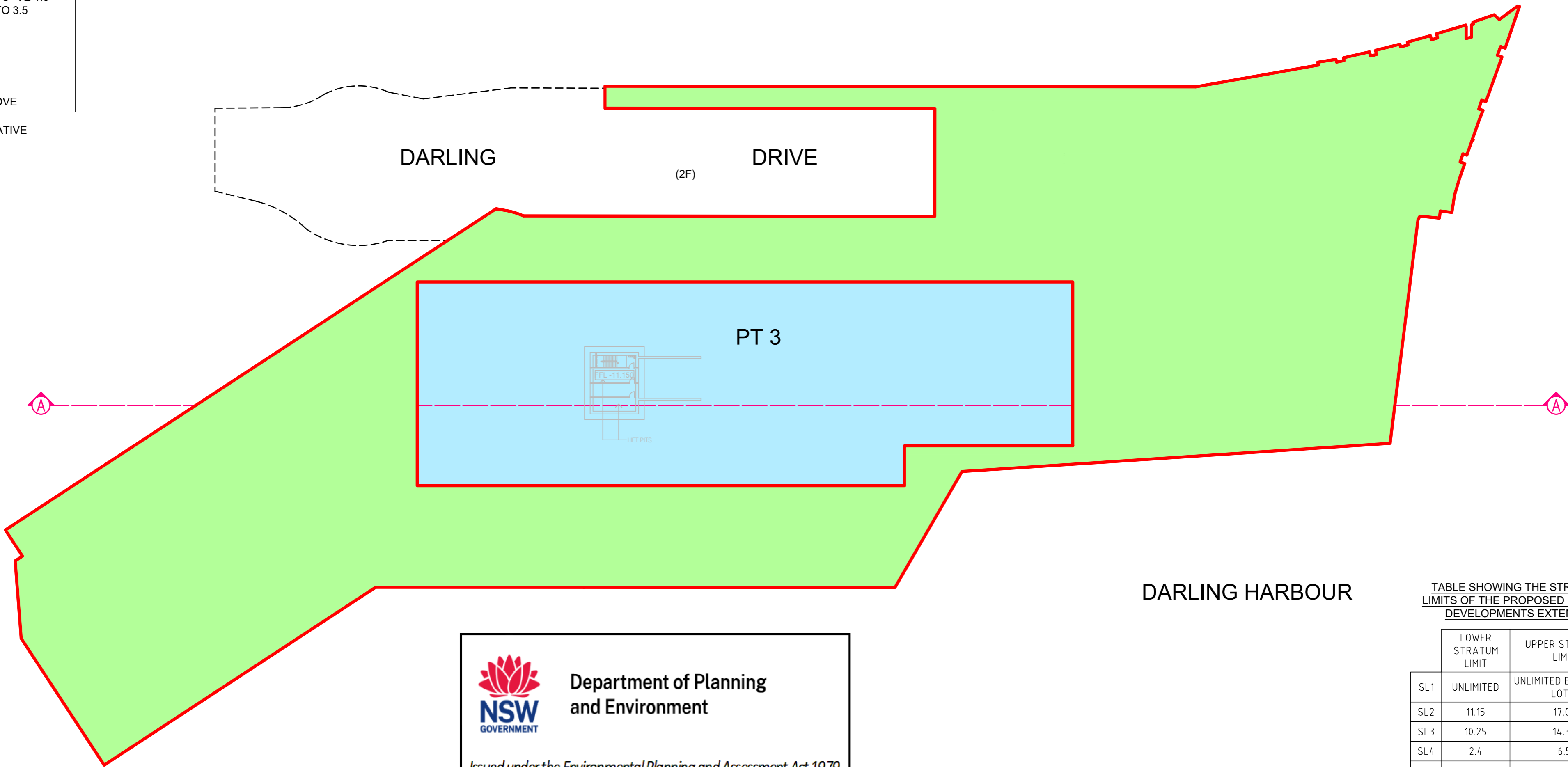
-VE DENOTES NEGATIVE

BASEMENT LEVEL 5 & BELOW

APPROX. STRATUM LEVEL = -VE 7.5 AND BELOW



THIS PLAN IS BASED ON PLANS BY
 HASSELL ARCHITECTS
 DWG No.: AR-SSDA2-1095_B5-CAD[A]
 RECEIVED: 02 NOV 2022



Department of Planning and Environment

Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: SSD 49295711

Granted on: 4 December 2023

Signed: AW Sheet No: 127 of 138

TABLE SHOWING THE STRATUM LIMITS OF THE PROPOSED LEASED DEVELOPMENTS EXTENTS

	LOWER STRATUM LIMIT	UPPER STRATUM LIMIT
SL1	UNLIMITED	UNLIMITED EXCEPTING LOT 8
SL2	11.15	17.07
SL3	10.25	14.35
SL4	2.4	6.5
SL5	2.575	7.45
SL6	2.575	7.82
SL7	7.82	17.07
SL8	17.07	23.57
SL9	6.5	17.07
SL10	17.07	23.57
SL12	6.5	17.07
SL13	3.35	10.25
SL14	2.4	7.82
SL15	10.25	11.5
SL17	17.07	23.57

PRELIMINARY PLAN
 PREPARED BY
 Beveridge Williams & Co Pty Ltd



Development and Infrastructure Consultants
 www.beveridgewilliams.com.au
 65-69 Kent Street
 Sydney 2000
 Tel. 02 9283 6677
 sydney@bevwill.com.au

(2F) PROPOSED RIGHT OF ACCESS VARIABLE WIDTH (LIMITED IN STRATUM)

SCHEDULE OF WHOLE OF LOT EASEMENTS
 EASEMENT FOR SUPPORT AND SHELTER (WHOLE OF LOTS)
 EASEMENT FOR SERVICES (WHOLE OF LOTS)
 EASEMENT FOR EMERGENCY EGRESS (WHOLE OF LOTS)
 RIGHT TO ACCESS SHARED FACILITIES (WHOLE OF LOTS)
 EASEMENT FOR CONSTRUCTION ACCESS (WHOLE OF LOTS)

SURVEYOR Name: MARK JOHN ANDREW Date: Reference: 2000767 DSUB	PLAN OF PROPOSED SUBDIVISION OF LOTS 1 TO 10 IN DP 776815 LOTS 12, 12, 14, 15 & 17 IN DP 776815 AND LOT 2015 IN DP 1234971 BEING PART OF AN AGREEMENT FOR LEASE	LGA: SYDNEY Locality: DARLING HARBOUR Reduction Ratio: 1:600 Lengths are in metres.	REGISTERED	<p>DRAFT - STRATUM SUB</p> <p>ISSUE 04 - PRINTED 7 NOV 2022</p> <p>LEVEL 5 UPDATED - DDW</p>
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- LOT 1 - RETAIL
- LOT 2 - COMMERCIAL
- LOT 3 - RESIDENTIAL

APPROX STRATUM LEVELS
 BASEMENT 4 = -VE 7.5 AND BELOW
 BASEMENT 3 = -VE 7.5 TO -VE 4.5
 BASEMENT 2 = -VE 4.5 TO -VE 1.5
 BASEMENT 1 = -VE 1.5 TO 3.5
 GROUND = 3.5 TO 8.5
 LEVEL 1 = 8.5 TO 12.5
 LEVEL 2 = 12.5 TO 16.3
 LEVEL 3 = 16.3 TO 20.1
 LEVEL 4 = 20.1 TO 24.0
 LEVEL 5 = 24.0 TO 27.9
 LEVEL 9 = 27.9 AND ABOVE

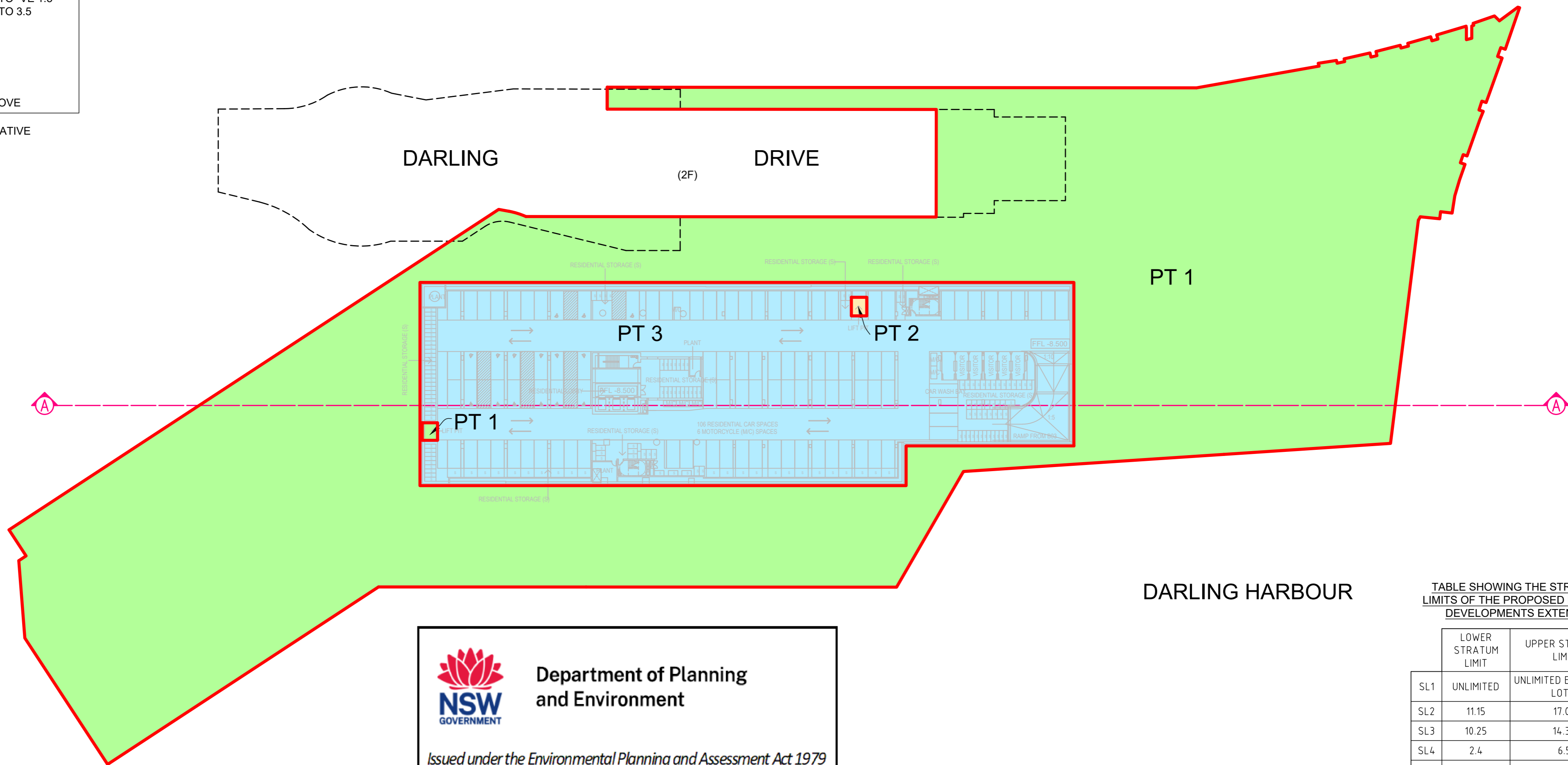
-VE DENOTES NEGATIVE


BASEMENT LEVEL 4

APPROX. STRATUM LEVEL = -VE 7.5 AND BELOW



THIS PLAN IS BASED ON PLANS BY
 HASSELL ARCHITECTS
 DWG No.: AR-SSDA2-1096_B4-CAD[A]
 RECEIVED: 02 NOV 2022





**Department of Planning
and Environment**

Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: SSD 49295711

Granted on: 4 December 2023

Signed: AW Sheet No: 128 of 138

TABLE SHOWING THE STRATUM LIMITS OF THE PROPOSED LEASED DEVELOPMENTS EXTENTS

	LOWER STRATUM LIMIT	UPPER STRATUM LIMIT
SL1	UNLIMITED	UNLIMITED EXCEPTING LOT 8
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SL3	10.25	14.35
SL4	2.4	6.5
SL5	2.575	7.45
SL6	2.575	7.82
SL7	7.82	17.07
SL8	17.07	23.57
SL9	6.5	17.07
SL10	17.07	23.57
SL12	6.5	17.07
SL13	3.35	10.25
SL14	2.4	7.82
SL15	10.25	11.5
SL17	17.07	23.57

PRELIMINARY PLAN
 PREPARED BY
 Beveridge Williams & Co Pty Ltd



Development and Infrastructure Consultants
 www.beveridgewilliams.com.au
 65-69 Kent Street
 Sydney 2000
 Tel. 02 9283 6677
 sydney@bevwill.com.au

(2F) PROPOSED RIGHT OF ACCESS VARIABLE WIDTH (LIMITED IN STRATUM)

SCHEDULE OF WHOLE OF LOT EASEMENTS
 EASEMENT FOR SUPPORT AND SHELTER (WHOLE OF LOTS)
 EASEMENT FOR SERVICES (WHOLE OF LOTS)
 EASEMENT FOR EMERGENCY EGRESS (WHOLE OF LOTS)
 RIGHT TO ACCESS SHARED FACILITIES (WHOLE OF LOTS)
 EASEMENT FOR CONSTRUCTION ACCESS (WHOLE OF LOTS)

SURVEYOR Name: MARK JOHN ANDREW Date: Reference: 2000767 DSUB	PLAN OF PROPOSED SUBDIVISION OF LOTS 1 TO 10 IN DP 776815 LOTS 12, 12, 14, 15 & 17 IN DP 776815 AND LOT 2015 IN DP 1234971 BEING PART OF AN AGREEMENT FOR LEASE	LGA: SYDNEY Locality: DARLING HARBOUR Reduction Ratio: 1:600 Lengths are in metres.	REGISTERED	<p>DRAFT - STRATUM SUB ISSUE 04 - PRINTED 7 NOV 2022 LEVEL 5 UPDATED - DDW</p>
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- LOT 1 - RETAIL
- LOT 2 - COMMERCIAL
- LOT 3 - RESIDENTIAL

APPROX STRATUM LEVELS
 BASEMENT 4 = -VE 7.5 AND BELOW
 BASEMENT 3 = -VE 7.5 TO -VE 4.5
 BASEMENT 2 = -VE 4.5 TO -VE 1.5
 BASEMENT 1 = -VE 1.5 TO 3.5
 GROUND = 3.5 TO 8.5
 LEVEL 1 = 8.5 TO 12.5
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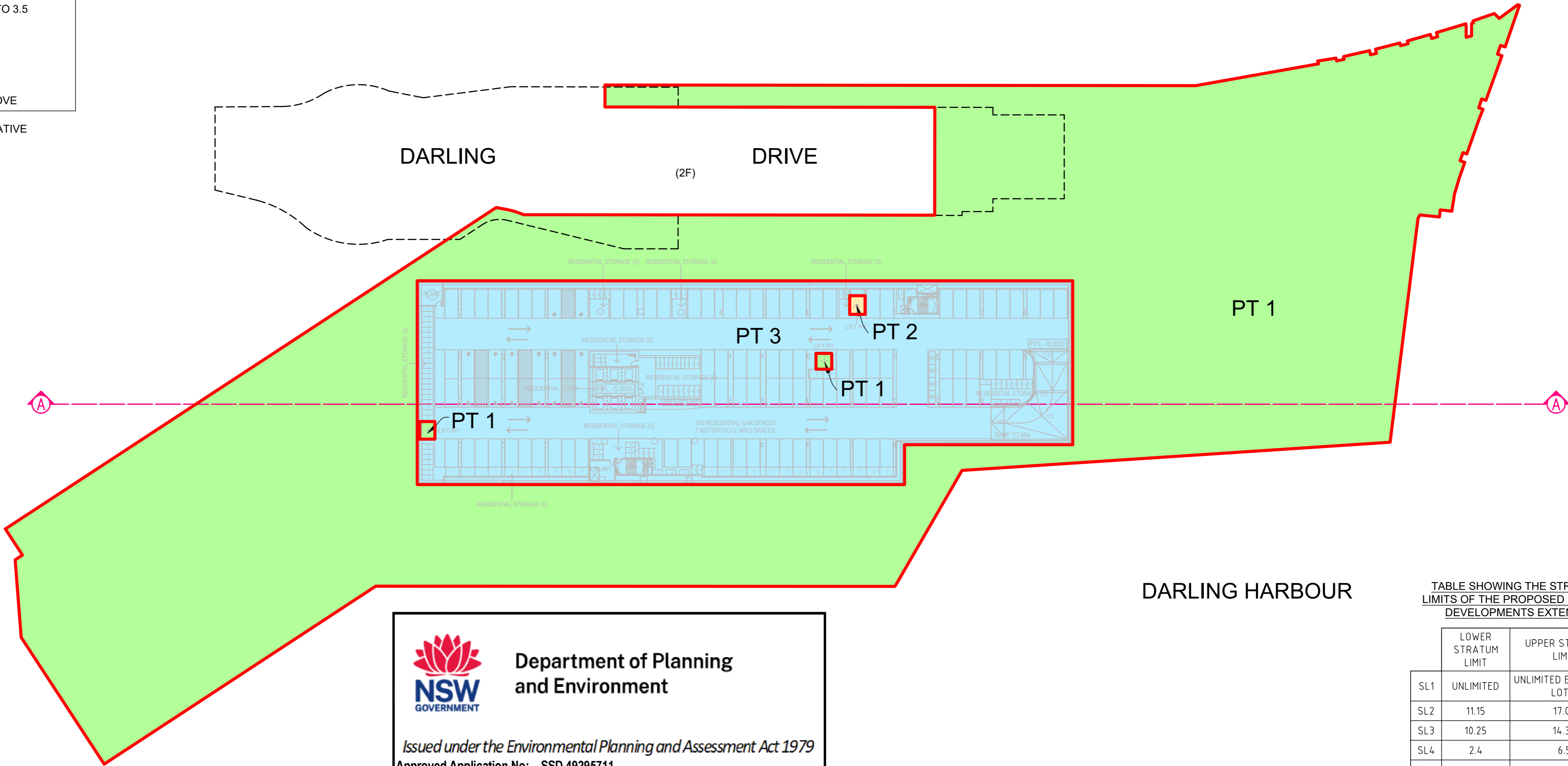
-VE DENOTES NEGATIVE


BASEMENT LEVEL 3

APPROX. STRATUM LEVEL = -VE 7.5 AND TO -VE 4.5



THIS PLAN IS BASED ON PLANS BY
 HASSELL ARCHITECTS
 DWG No.: AR-SSDA2-1097_B3-CAD[A]
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**Department of Planning
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Approved Application No: SSD 49295711
Granted on: 4 December 2023
Signed: AW Sheet No: 129 of 138

TABLE SHOWING THE STRATUM LIMITS OF THE PROPOSED LEASED DEVELOPMENTS EXTENTS

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 EASEMENT FOR EMERGENCY EGRESS (WHOLE OF LOTS)
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- LOT 1 - RETAIL
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APPROX STRATUM LEVELS
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 LEVEL 3 = 16.3 TO 20.1
 LEVEL 4 = 20.1 TO 24.0
 LEVEL 5 = 24.0 TO 27.9
 LEVEL 9 = 27.9 AND ABOVE

-VE DENOTES NEGATIVE

BASEMENT LEVEL 2

APPROX. STRATUM LEVEL = -VE 4.5 AND TO -VE 1.5



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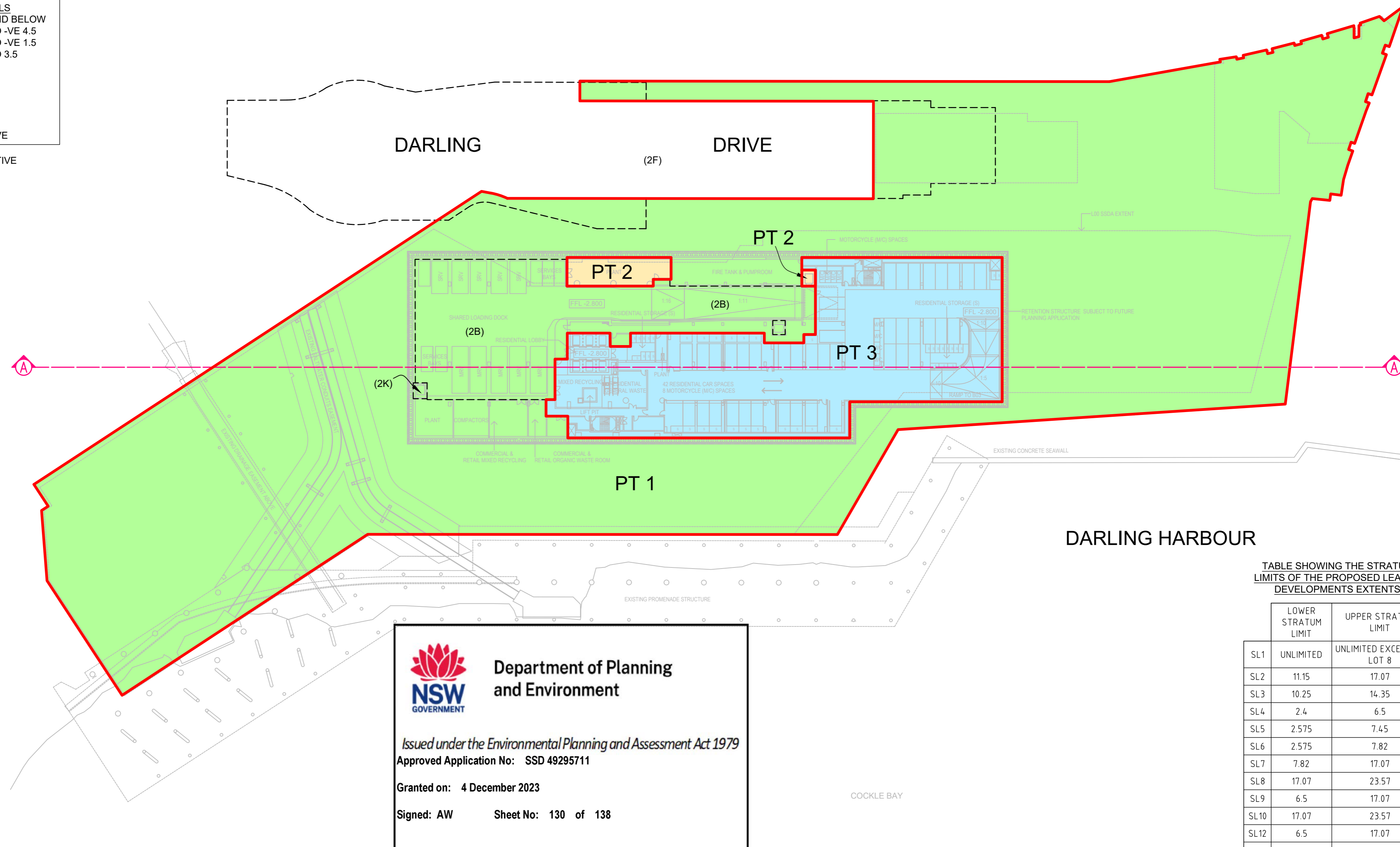



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- (2A) PROPOSED EASEMENT FOR ACCESS
- (2B) PROPOSED EASEMENT TO ACCESS AND USE LOADING DOCK
- (2F) PROPOSED RIGHT OF ACCESS VARIABLE WIDTH (LIMITED IN STRATUM)
- (2K) PROPOSED RIGHT TO USE GOODS LIFT

SCHEDULE OF WHOLE OF LOT EASEMENTS
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- LOT 1 - RETAIL
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APPROX STRATUM LEVELS
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 LEVEL 9 = 27.9 AND ABOVE

-VE DENOTES NEGATIVE

BASEMENT LEVEL 1

APPROX. STRATUM LEVEL = -VE 1.5 AND TO 3.5



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 HASSELL ARCHITECTS
 DWG No.: AR-SSDA2-1099_B1-CAD(A)
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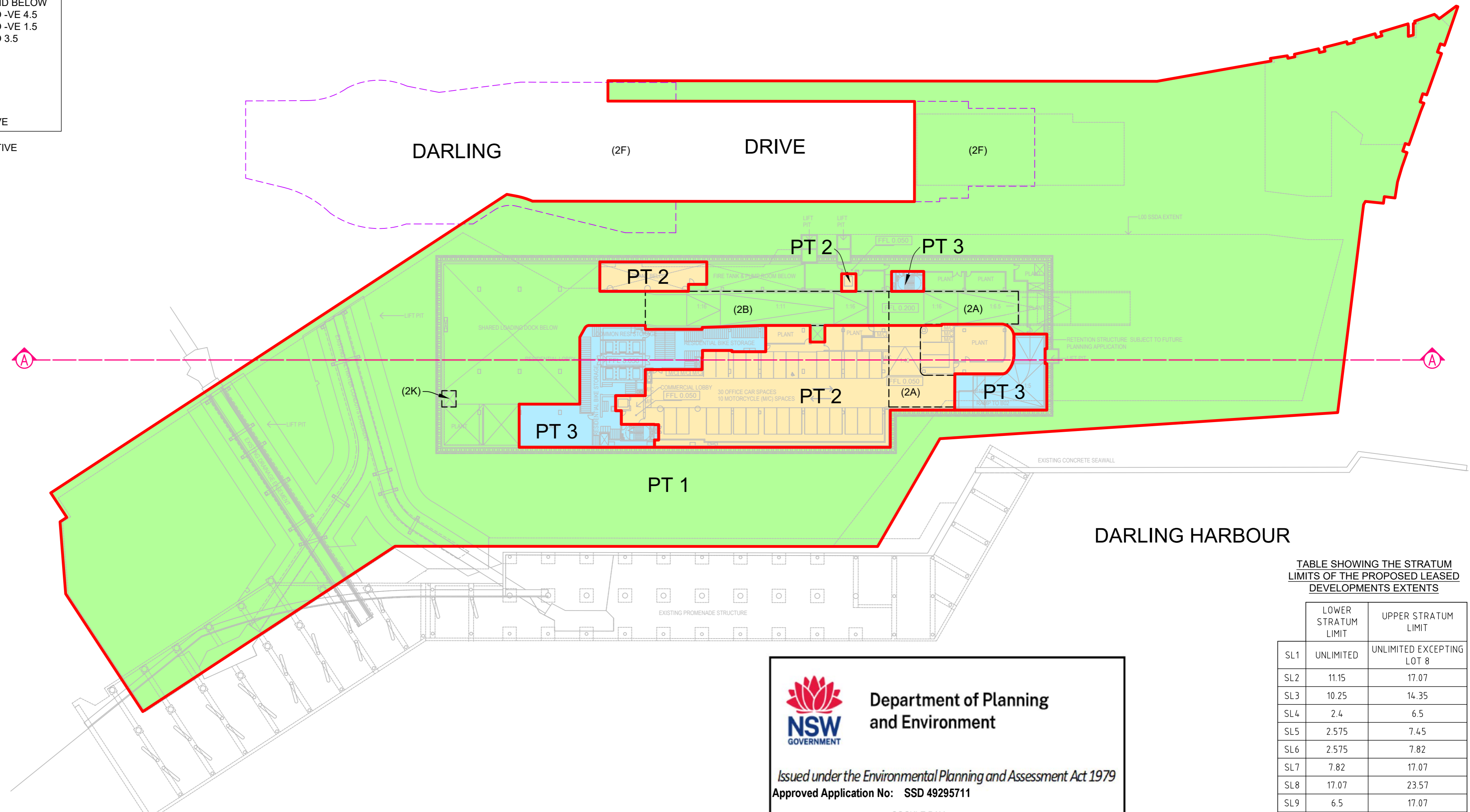



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Signed: AW **Sheet No: 131 of 138**

- (2A) PROPOSED EASEMENT FOR ACCESS
- (2B) PROPOSED EASEMENT TO ACCESS AND USE LOADING DOCK
- (2F) PROPOSED RIGHT OF ACCESS VARIABLE WIDTH (LIMITED IN STRATUM)
- (2K) PROPOSED RIGHT TO USE GOODS LIFT

SCHEDULE OF WHOLE OF LOT EASEMENTS
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 EASEMENT FOR CONSTRUCTION ACCESS (WHOLE OF LOTS)

SURVEYOR
 Name: MARK JOHN ANDREW
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PLAN OF PROPOSED SUBDIVISION OF LOTS 1 TO 10 IN DP 776815
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LGA: SYDNEY
 Locality: DARLING HARBOUR
 Reduction Ratio: 1:600
 Lengths are in metres.

REGISTERED

DRAFT - STRATUM SUB
 ISSUE 04 - PRINTED 7 NOV 2022
 LEVEL 5 UPDATED - DDW

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- LOT 1 - RETAIL
- LOT 2 - COMMERCIAL
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GROUND LEVEL

APPROX. STRATUM LEVEL = 3.5 AND TO 8.5



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APPROX STRATUM LEVELS
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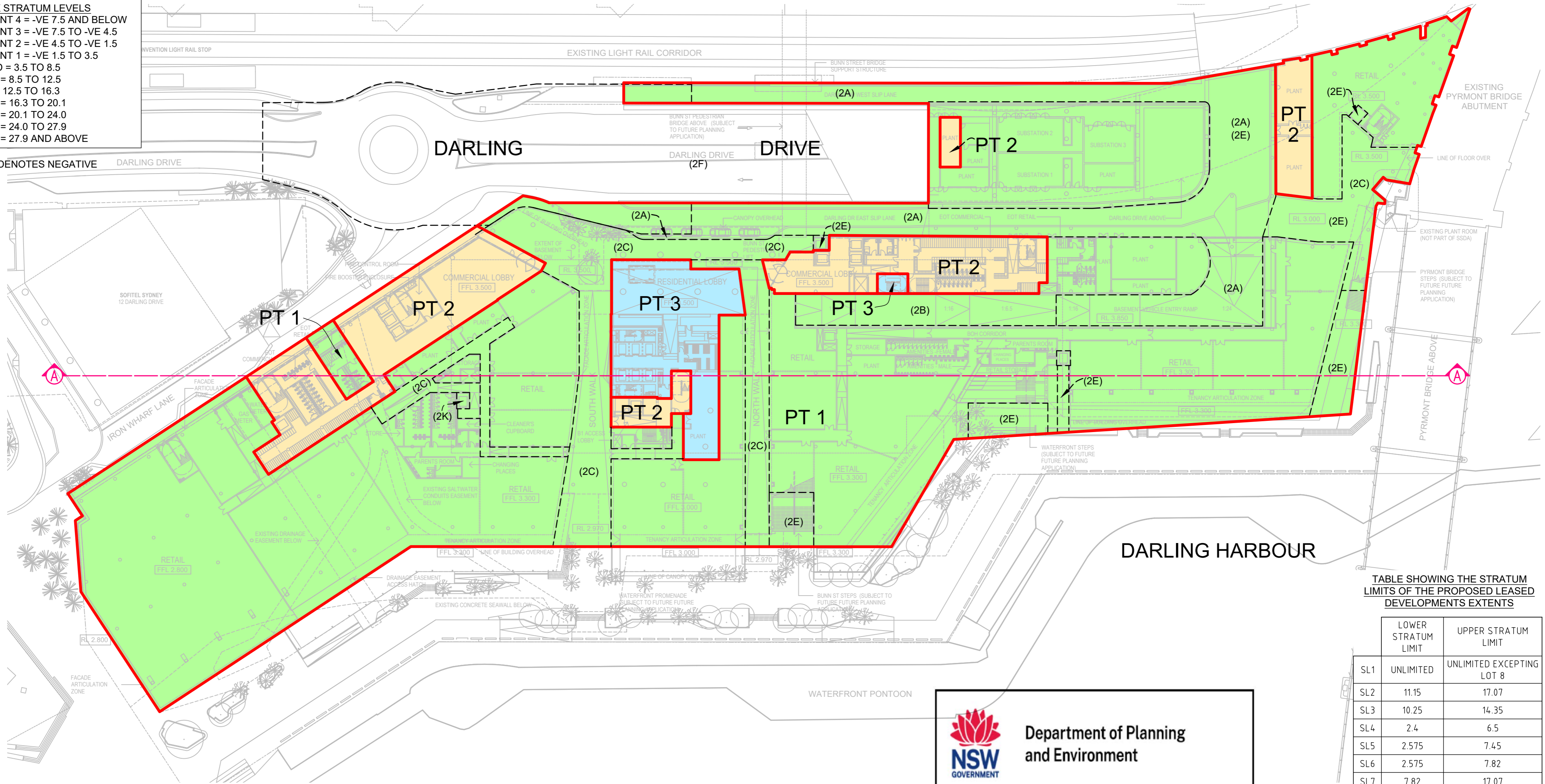


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Signed: AW Sheet No: 132 of 138

- (2A) PROPOSED EASEMENT FOR ACCESS
- (2B) PROPOSED EASEMENT TO ACCESS AND USE LOADING DOCK
- (2C) PROPOSED EASEMENT FOR ACCESS BY FOOT VARIABLE WIDTH (LIMITED IN STRATUM)
- (2E) PROPOSED EASEMENT FOR PUBLIC ACCESS VARIABLE WIDTH (LIMITED IN STRATUM)
- (2F) PROPOSED RIGHT OF ACCESS VARIABLE WIDTH (LIMITED IN STRATUM)
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LGA: SYDNEY
 Locality: DARLING HARBOUR
 Reduction Ratio: 1:600
 Lengths are in metres.

REGISTERED

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 LEVEL 5 UPDATED - DDW

LEVEL 1

APPROX. STRATUM LEVEL = 8.5 AND TO 12.5

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APPROX STRATUM LEVELS
 BASEMENT 4 = -VE 7.5 AND BELOW
 BASEMENT 3 = -VE 7.5 TO -VE 4.5
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 LEVEL 9 = 27.9 AND ABOVE

-VE DENOTES NEGATIVE



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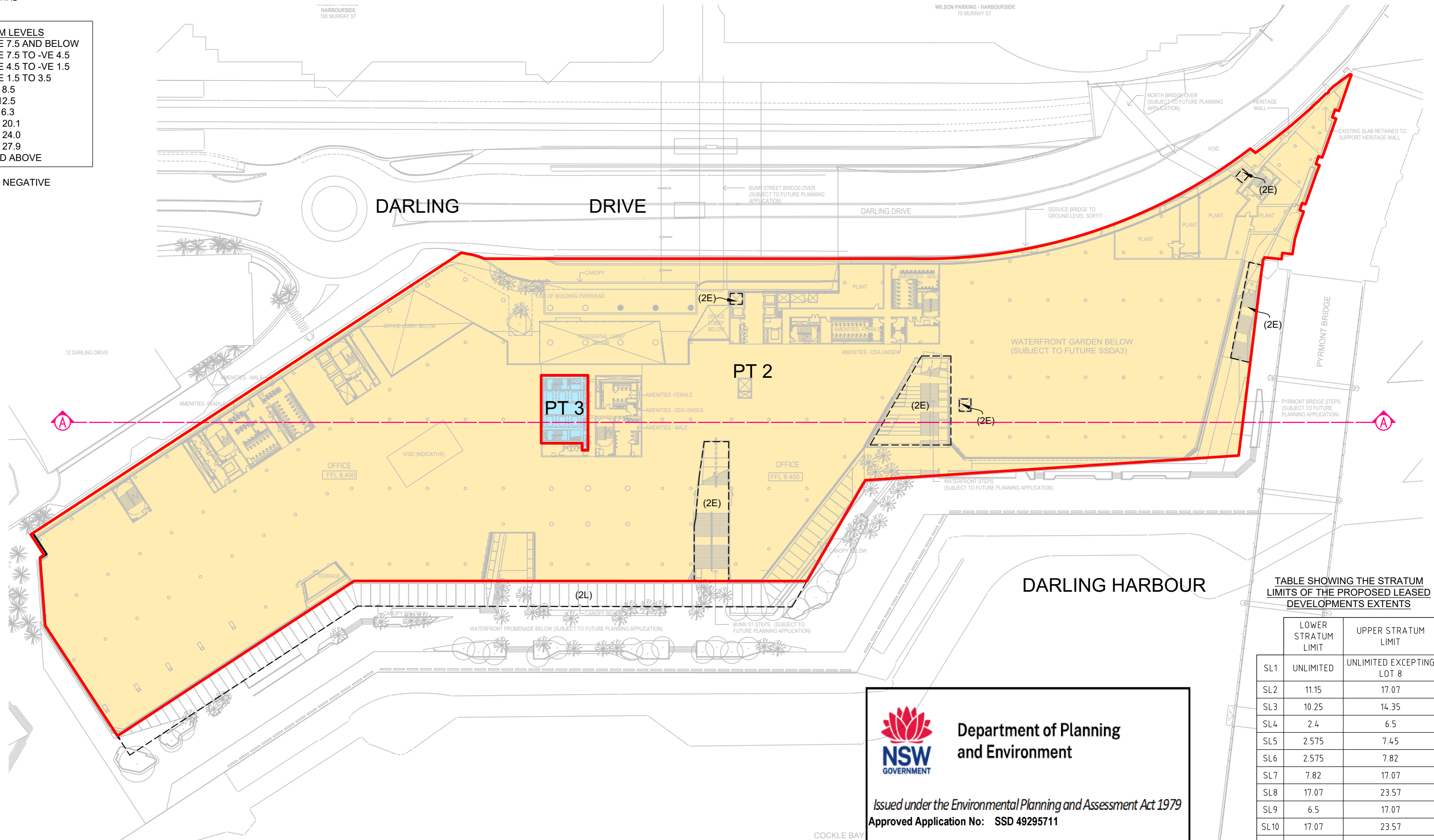



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- (2D) EASEMENT FOR PUBLIC ACCESS AND RECREATION VARIABLE WIDTH (LIMITED IN STRATUM)
- (2E) EASEMENT FOR PUBLIC ACCESS VARIABLE WIDTH (LIMITED IN STRATUM)
- (2L) EASEMENT FOR CANOPY (LIMITED IN STRATUM)

<p>SURVEYOR Name: MARK JOHN ANDREW Date: Reference: 2000767 DSUB</p>	<p>PLAN OF PROPOSED SUBDIVISION OF LOTS 1 TO 10 IN DP 776815 LOTS 12, 12, 14, 15 & 17 IN DP 776815 AND LOT 2015 IN DP 1234971 BEING PART OF AN AGREEMENT FOR LEASE</p>	<p>LGA: SYDNEY Locality: DARLING HARBOUR Reduction Ratio: 1:600 Lengths are in metres.</p>	<p>REGISTERED</p>	<p>DRAFT - STRATUM SUB ISSUE 04 - PRINTED 7 NOV 2022 LEVEL 5 UPDATED - DDW</p>
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- LOT 1 - RETAIL
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APPROX STRATUM LEVELS
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-VE DENOTES NEGATIVE

LEVEL 2
 APPROX. STRATUM LEVEL = 12.5 AND TO 16.3



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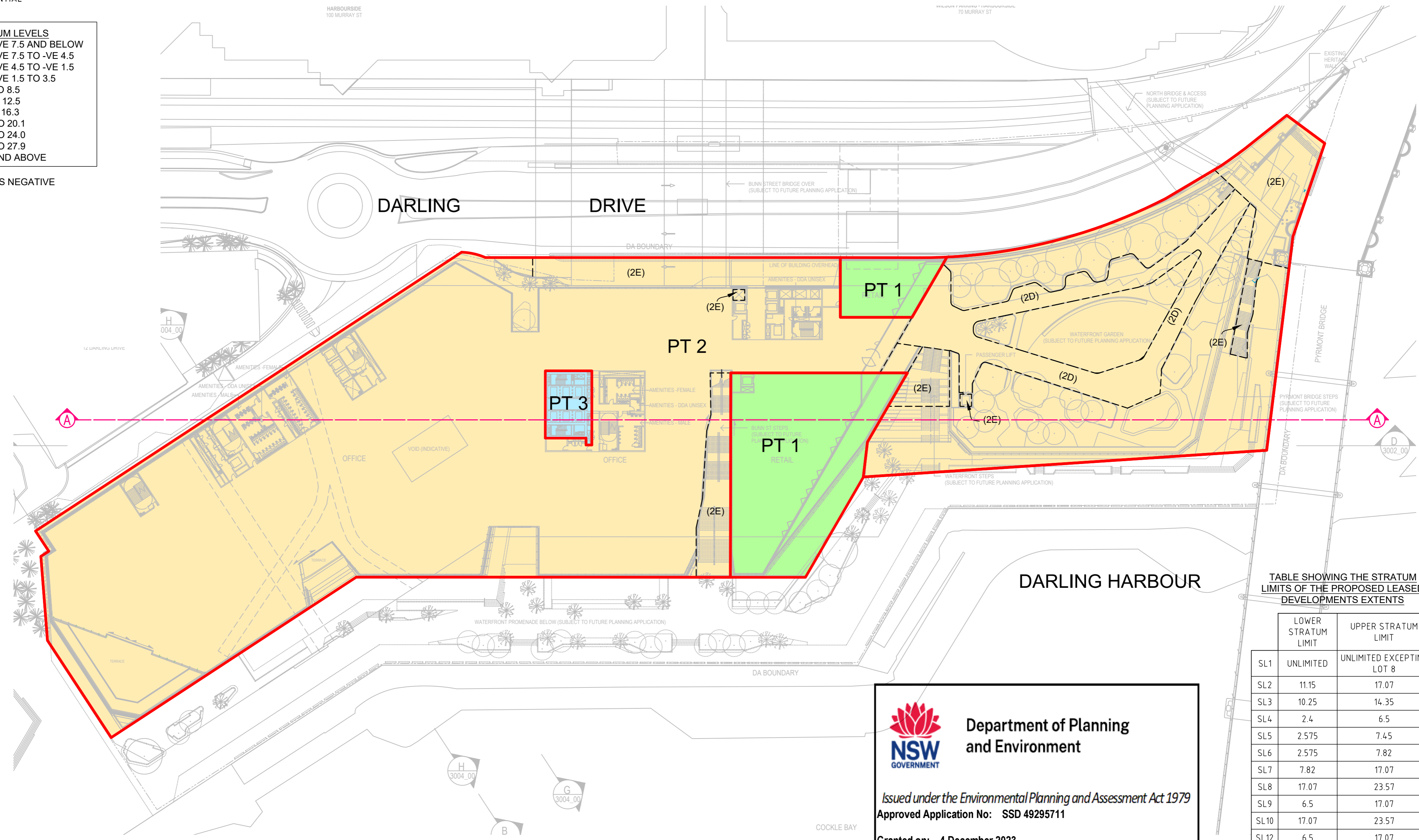


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(2D) EASEMENT FOR PUBLIC ACCESS AND RECREATION VARIABLE WIDTH (LIMITED IN STRATUM)
 (2E) EASEMENT FOR PUBLIC ACCESS VARIABLE WIDTH (LIMITED IN STRATUM)

NOTE : EASEMENT FOR OVERHANG TO BE CREATED WHERE APPLICABLE

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LGA: SYDNEY
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-VE DENOTES NEGATIVE

NOTE- THE BUNN STREET BRIDGE AND NORTHERN PEDESTRIAN BRIDGE - (BOTH SHOWN INDICATIVE ONLY) - WILL BE CONTAINED WITHIN THE DEVELOPMENT PARCEL. THE BOUNDARY WILL BE CREATED AROUND THE UNDERSIDE, SIDES AND ROOF OF THE BRIDGES WITH CURTLAGE OF APPROXIMATE 0.5 TO 1 METRE PROVIDED AS A MINIMUM, OR OTHERWISE APPROVED

LEVEL 3

APPROX. STRATUM LEVEL = 16.3 AND TO 20.1



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 DWG No.: AR-SSDA2-1103_00-CAD(A).dwg
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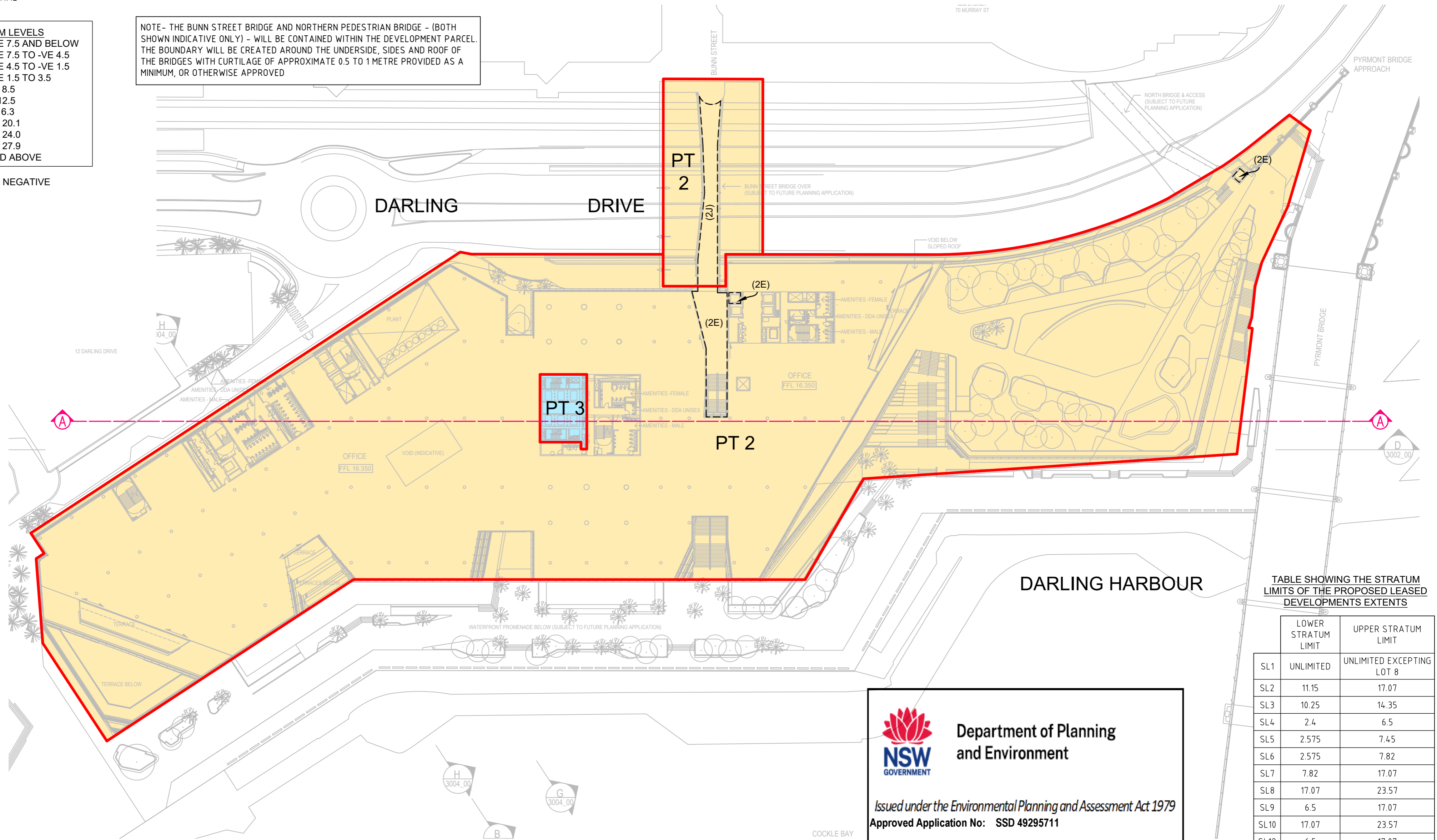


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- (2D) EASEMENT FOR PUBLIC ACCESS AND RECREATION VARIABLE WIDTH (LIMITED IN STRATUM)
- (2E) EASEMENT FOR PUBLIC ACCESS VARIABLE WIDTH (LIMITED IN STRATUM)
- (2J) EASEMENT FOR PUBLIC PEDESTRIAN TO BUNN STREET BRIDGE

SCHEDULE OF WHOLE OF LOT EASEMENTS
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 Date:
 Reference: 2000767 DSUB

PLAN OF PROPOSED SUBDIVISION OF LOTS 1 TO 10 IN DP 776815 LOTS 12, 12, 14, 15 & 17 IN DP 776815 AND LOT 2015 IN DP 1234971 BEING PART OF AN AGREEMENT FOR LEASE

LGA: SYDNEY
 Locality: DARLING HARBOUR
 Reduction Ratio: 1:600
 Lengths are in metres.

REGISTERED

DRAFT - STRATUM SUB
 ISSUE 04 - PRINTED 7 NOV 2022
 LEVEL 5 UPDATED - DDW

PRELIMINARY PLAN
 PREPARED BY
 Beveridge Williams & Co Pty Ltd



Development and Infrastructure Consultants
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 65-69 Kent Street
 Sydney 2000
 Tel. 02 9283 6677
 sydney@bevwill.com.au

- LOT 1 - RETAIL
- LOT 2 - COMMERCIAL
- LOT 3 - RESIDENTIAL

APPROX STRATUM LEVELS
 BASEMENT 4 = -VE 7.5 AND BELOW
 BASEMENT 3 = -VE 7.5 TO -VE 4.5
 BASEMENT 2 = -VE 4.5 TO -VE 1.5
 BASEMENT 1 = -VE 1.5 TO 3.5
 GROUND = 3.5 TO 8.5
 LEVEL 1 = 8.5 TO 12.5
 LEVEL 2 = 12.5 TO 16.3
 LEVEL 3 = 16.3 TO 20.1
 LEVEL 4 = 20.1 TO 24.0
 LEVEL 5 = 24.0 TO 27.9
 LEVEL 9 = 27.9 AND ABOVE

-VE DENOTES NEGATIVE

LEVEL 4

APPROX. STRATUM LEVEL = 20.1 AND TO 24.0



THIS PLAN IS BASED ON PLANS BY
 HASSELL ARCHITECTS
 DWG No.: AR-SSDA2-1104_00-CAD[A].dwg
 RECEIVED: 02 NOV 2022

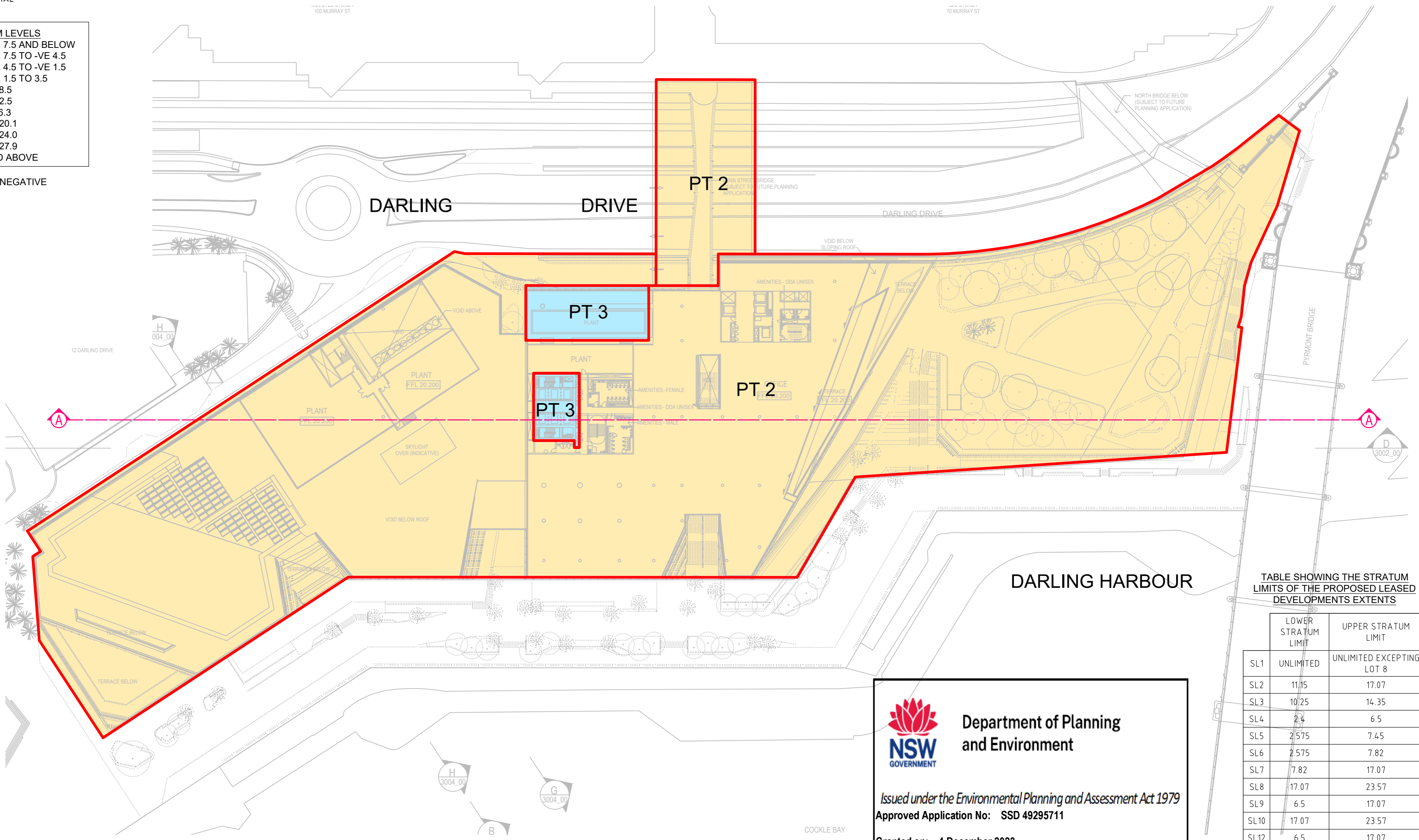


TABLE SHOWING THE STRATUM LIMITS OF THE PROPOSED LEASED DEVELOPMENTS EXTENTS

	LOWER STRATUM LIMIT	UPPER STRATUM LIMIT
SL1	UNLIMITED	UNLIMITED EXCEPTING LOT 8
SL2	11.15	17.07
SL3	10.25	14.35
SL4	2.4	6.5
SL5	2.575	7.45
SL6	2.575	7.82
SL7	7.82	17.07
SL8	17.07	23.57
SL9	6.5	17.07
SL10	17.07	23.57
SL12	6.5	17.07
SL13	3.35	10.25
SL14	2.4	7.82
SL15	10.25	11.5
SL17	17.07	23.57



Department of Planning and Environment

Issued under the Environmental Planning and Assessment Act 1979
 Approved Application No: SSD 49295711
 Granted on: 4 December 2023
 Signed: AW Sheet No: 136 of 138

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SCHEDULE OF WHOLE OF LOT EASEMENTS
 EASEMENT FOR SUPPORT AND SHELTER (WHOLE OF LOTS)
 EASEMENT FOR SERVICES (WHOLE OF LOTS)
 EASEMENT FOR EMERGENCY EGRESS (WHOLE OF LOTS)
 RIGHT TO ACCESS SHARED FACILITIES (WHOLE OF LOTS)
 EASEMENT FOR CONSTRUCTION ACCESS (WHOLE OF LOTS)

SURVEYOR
 Name: MARK JOHN ANDREW
 Date:
 Reference: 2000767 DSUB

PLAN OF PROPOSED SUBDIVISION OF LOTS 1 TO 10 IN DP 776815 LOTS 12, 12, 14, 15 & 17 IN DP 776815 AND LOT 2015 IN DP 1234971 BEING PART OF AN AGREEMENT FOR LEASE

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- LOT 1 - RETAIL
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APPROX STRATUM LEVELS
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 BASEMENT 3 = -VE 7.5 TO -VE 4.5
 BASEMENT 2 = -VE 4.5 TO -VE 1.5
 BASEMENT 1 = -VE 1.5 TO 3.5
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 LEVEL 1 = 8.5 TO 12.5
 LEVEL 2 = 12.5 TO 16.3
 LEVEL 3 = 16.3 TO 20.1
 LEVEL 4 = 20.1 TO 24.0
 LEVEL 5 = 24.0 TO 27.9
 LEVEL 9 = 27.9 AND ABOVE

-VE DENOTES NEGATIVE

LEVEL 5 & ABOVE

APPROX. STRATUM LEVEL = 24.0+



THIS PLAN IS BASED ON PLANS BY
 HASSELL ARCHITECTS
 DWG No: AR-SSDA2-1105_00-CAD(A)
 RECEIVED: 02 NOV 2022

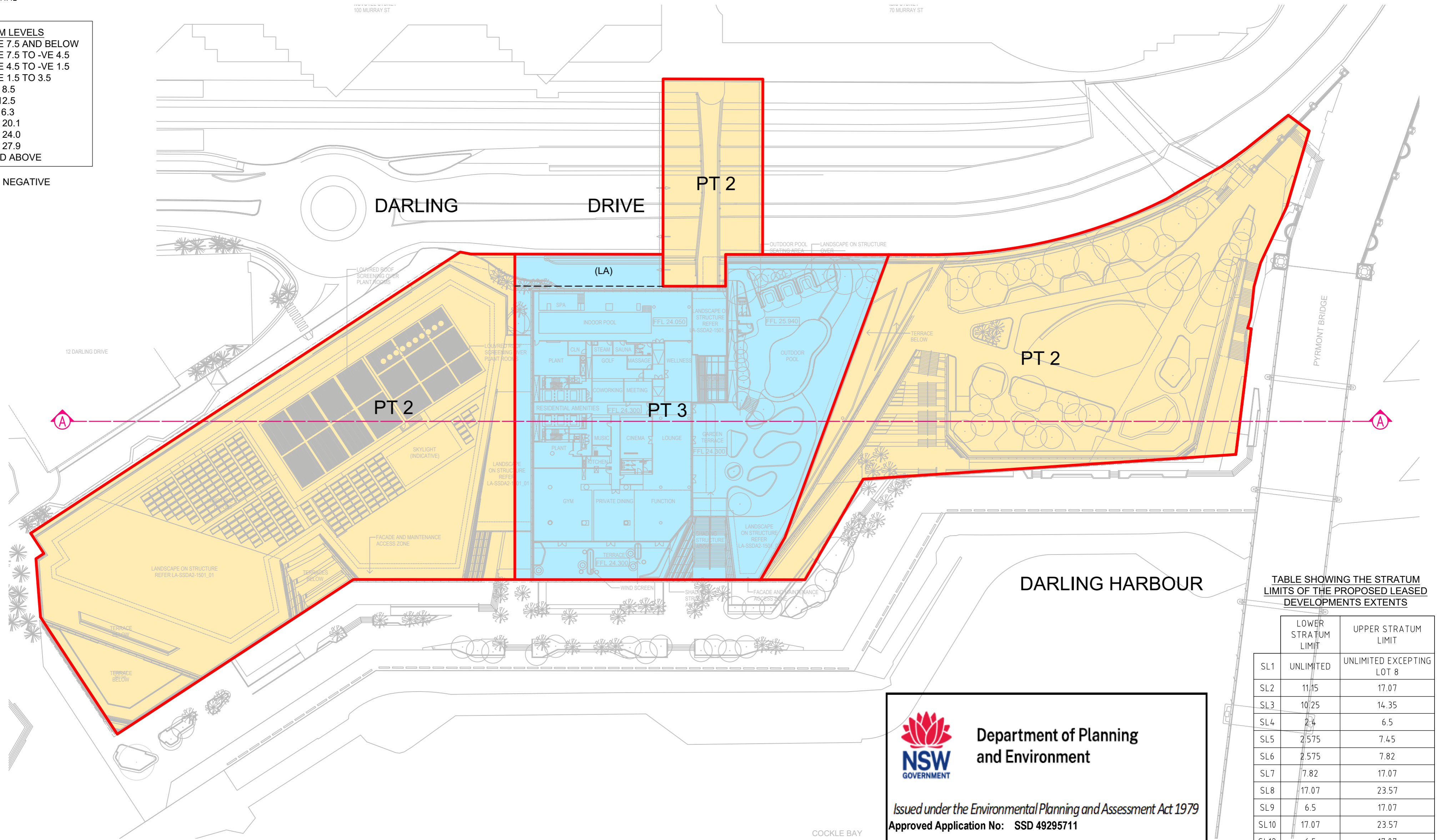


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SL17	17.07	23.57



Department of Planning and Environment

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PRELIMINARY PLAN
 PREPARED BY
 Beveridge Williams & Co Pty Ltd



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(LA) PROPOSED EASEMENT FOR LIGHT AND AIR

SCHEDULE OF WHOLE OF LOT EASEMENTS
 EASEMENT FOR SUPPORT AND SHELTER (WHOLE OF LOTS)
 EASEMENT FOR SERVICES (WHOLE OF LOTS)
 EASEMENT FOR EMERGENCY EGRESS (WHOLE OF LOTS)
 RIGHT TO ACCESS SHARED FACILITIES (WHOLE OF LOTS)
 EASEMENT FOR CONSTRUCTION ACCESS (WHOLE OF LOTS)

SURVEYOR
 Name: MARK JOHN ANDREW
 Date:
 Reference: 2000767 DSUB

PLAN OF PROPOSED SUBDIVISION OF
 LOTS 1 TO 10 IN DP 776815
 LOTS 12, 12, 14, 15 & 17 IN DP 776815 AND
 LOT 2015 IN DP 1234971 BEING PART OF
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LGA: SYDNEY
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REGISTERED

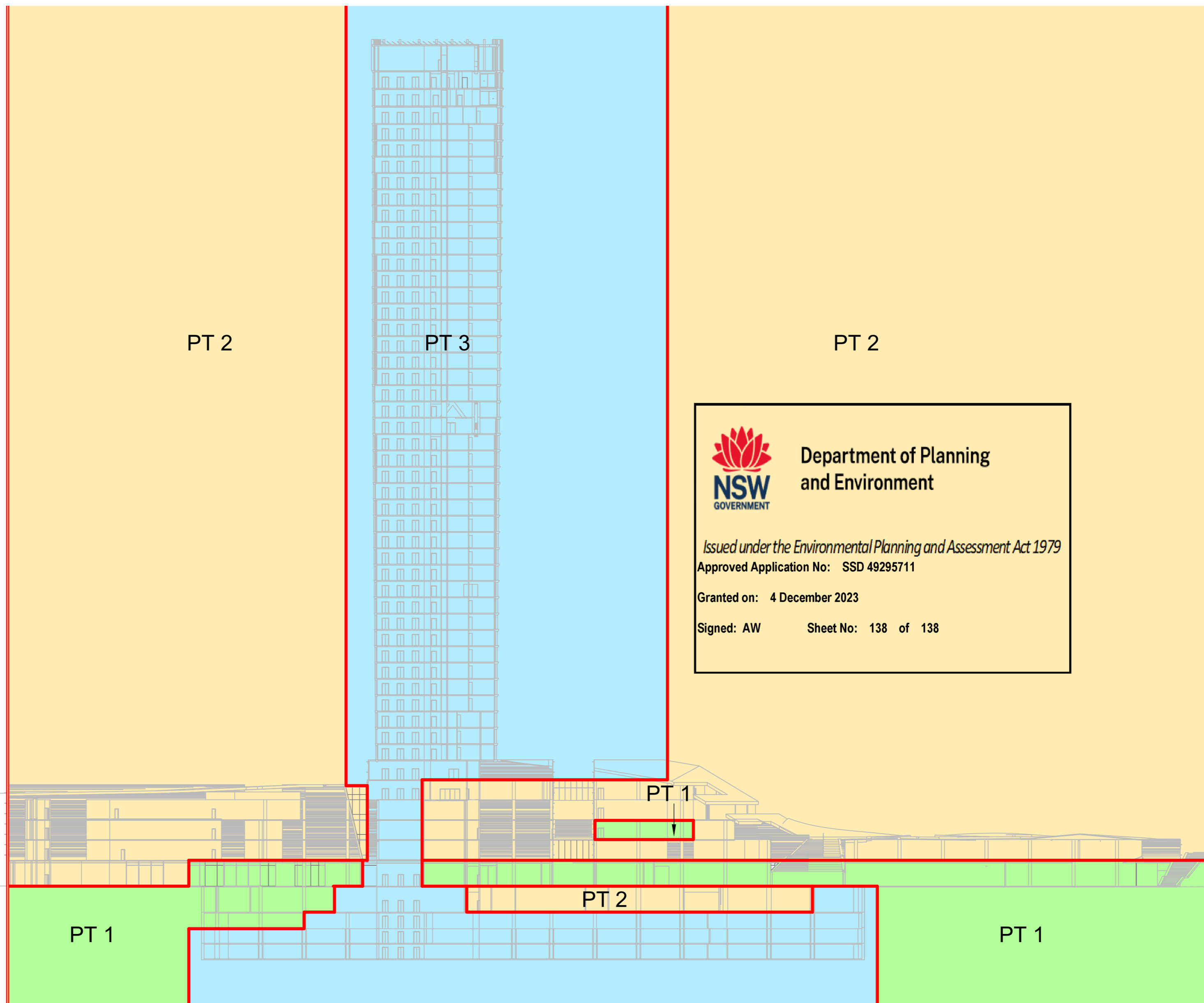
DRAFT - STRATUM SUB
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SECTION A-A

THIS PLAN IS BASED ON PLANS BY
HASSELL ARCHITECTS
DWG No.: A_3001 - GA SECTION 02
RECEIVED: 9 FEB 2022

- LOT 1 - RETAIL
- LOT 2 - COMMERCIAL
- LOT 3 - RESIDENTIAL

- ▽ RL 165.950 L49 Roof
- ▽ RL 160.950 L48
- ▽ RL 157.550 L47
- ▽ RL 154.150 L46
- ▽ RL 150.750 L45
- ▽ RL 147.800 L44
- ▽ RL 144.450 L43
- ▽ RL 141.300 L42
- ▽ RL 138.150 L41
- ▽ RL 135.000 L40
- ▽ RL 131.850 L39
- ▽ RL 128.700 L38
- ▽ RL 125.550 L37
- ▽ RL 122.400 L36
- ▽ RL 119.250 L35
- ▽ RL 116.100 L34
- ▽ RL 112.950 L33
- ▽ RL 109.800 L32
- ▽ RL 106.650 L31
- ▽ RL 103.500 L30
- ▽ RL 100.350 L29
- ▽ RL 97.200 L28
- ▽ RL 94.050 L27
- ▽ RL 90.900 L26
- ▽ RL 87.750 L25
- ▽ RL 84.600 L24
- ▽ RL 81.450 L23
- ▽ RL 78.300 L22
- ▽ RL 75.150 L21
- ▽ RL 72.000 L20
- ▽ RL 68.850 L19
- ▽ RL 65.700 L18
- ▽ RL 62.550 L17
- ▽ RL 59.400 L16
- ▽ RL 56.250 L15
- ▽ RL 53.100 L14
- ▽ RL 49.950 L13
- ▽ RL 46.800 L12
- ▽ RL 43.650 L11
- ▽ RL 40.500 L10
- ▽ RL 37.350 L09
- ▽ RL 34.200 L08
- ▽ RL 31.050 L07
- ▽ RL 27.900 L06
- ▽ RL 24.050 L05
- ▽ RL 20.200 L04
- ▽ RL 16.350 L03
- ▽ RL 12.500 L02
- ▽ RL 8.500 L01
- ▽ RL 3.500 L00
- ▽ RL -1.500 B01
- ▽ RL -4.500 B02
- ▽ RL -7.500 B03
- ▽ RL -10.500 B04



 **Department of Planning and Environment**

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Granted on: 4 December 2023

Signed: AW Sheet No: 138 of 138

PRELIMINARY PLAN
PREPARED BY
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<p>SURVEYOR</p> <p>Name: MARK JOHN ANDREW</p> <p>Date:</p> <p>Reference: 2000767 DSUB</p>	<p>PLAN OF PROPOSED SUBDIVISION OF LOTS 1 TO 10 IN DP 776815 LOTS 12, 12, 14, 15 & 17 IN DP 776815 AND LOT 2015 IN DP 1234971 BEING PART OF AN AGREEMENT FOR LEASE</p>	<p>LGA: SYDNEY</p> <p>Locality: DARLING HARBOUR</p> <p>Reduction Ratio: 1:600</p> <p><small>Lengths are in metres.</small></p>	<p>REGISTERED</p>	<p>DRAFT - STRATUM SUB</p> <p>ISSUE 04 - PRINTED 7 NOV 2022</p> <p><small>LEVEL 5 UPDATED - DDW</small></p>
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