

LOCAL DEVELOPMENT PLAN PROVISIONS

The development standards contained in the Local Development Plan (LDP) apply in addition to those development requirements of the Local Planning Scheme No. 17(LPS 17) and any relevant planning policy effective under LPS 17.

Where a development standard is specifically stipulated within this LDP, that standard prevails over the requirements of the R-MD Codes, the R-Codes and any other requirements of LPS 17. The requirements of the R-MD Codes, the R-Codes and LPS 17 shall be satisfied in all other matters.

The LDP provisions apply to those lots identified within the Local Development Plan boundary. The density code for each lot is as per the prevailing R-Codes Plan.

1. SETBACKS

	Provisions
a. Public Open Space Frontage (Lots 49 – 56 Mulberry Crescent)	i. Minimum 3.0m to main building line. ii. Minimum 2.0m to alfresco, veranda and/or balcony.

2. UNIFORM FENCING

a. Uniform estate fencing is to be provided along the frontage of the Public Open Space lots as shown on the Local Development Plan. Fences abutting the lot boundaries adjoining Public Open Space shall be visually permeable. Where a side lot boundary adjoins Public Open Space, fencing is to be visually permeable to a minimum of 3.5m from the front and rear boundary.

3. GARAGE LOCATION AND VEHICLE ACCESS

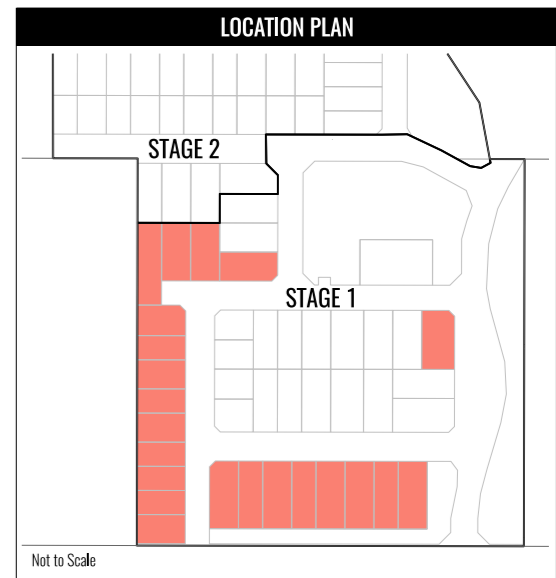
a. Designated garage locations apply to some lots as identified on Plan; this referencing the side of the lot to which the garage should be located. Designated garage locations do not prescribe boundary walls.
b. All other garage locations are subject to the location of infrastructure services, dedicated bin-pad sites, and estate retaining, fencing and landscaping. It is not mandatory for garages to access the lot via a Secondary Street where available.

The development guidelines as shown have been adopted by Council and signed by the Principal Planner.

Principal Planner / Co-ordinator Statutory Planning
 CoS Ref
 Date

LEGEND

- LOTS SUBJECT TO LDP
- GARAGE LOCATION
- UNIFORM FENCING
- NO VEHICULAR ACCESS
- RETAINING WALL
- BIN PADS
- PRIMARY DWELLING ORIENTATION



LOCAL DEVELOPMENT PLAN

Stage 1, HENLEY BROOK

A Mirvac Project

NORTH
 Scale: 1:1000 @ A3
 0 10 20 30m
 PLAN: MRHB-4-002 REVISION: A
 DATE: 15/04/2021 DRAWN: JP
 PROJECTION: PCG 94 PLANNER: MT
 DATUM: AHD CHECK: JH



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