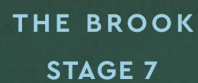


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The site plan illustrates a residential development layout. Key features include:

- Streets:** Blossom Parkway, Limestone Avenue, Wongin Boulevard, Brooklands Drive, Lilylock Crescent, Dandelion Street, Stonecrop Crescent, and Liquidambar Way.
- Proposed Living Stream:** A water feature flowing through the center of the development.
- Lot Status:** Many lots are marked 'SOLD' with their lot numbers and areas. For example, lots 501-512, 520-526, 533, 546-553, 578-580, 615-622, 623-624, 647-648, 649-650, 675-676, and 683 are sold.
- Future Release:** Several areas are designated for future release, including large tracts of land and specific lots.
- Existing Release:** Areas designated for existing release are also shown.
- North Arrow:** Located in the top left corner, pointing towards the top of the page.

- Current Release
 Future Release
 Existing Release
 Retaining Wall
 Retaining Wall & Open Style Fence
 1.8M Retaining Wall
 Brick Paved Parking Bay
 Side Entry Pit
 Sewer Connection & Manhole
 Drainage
 Drainage Manhole
 Drainage Gate
 Drainage Lot Connection
 Water Connection
 Water Hydrant
 Water Valve
 Western Power Mini Pill
 Western Power Uni Pill
 Western Power Below Ground Service Pit
 Transformer
 Street Light
 Broadband Connection
 Lot Level
 Footpath
 Garage location

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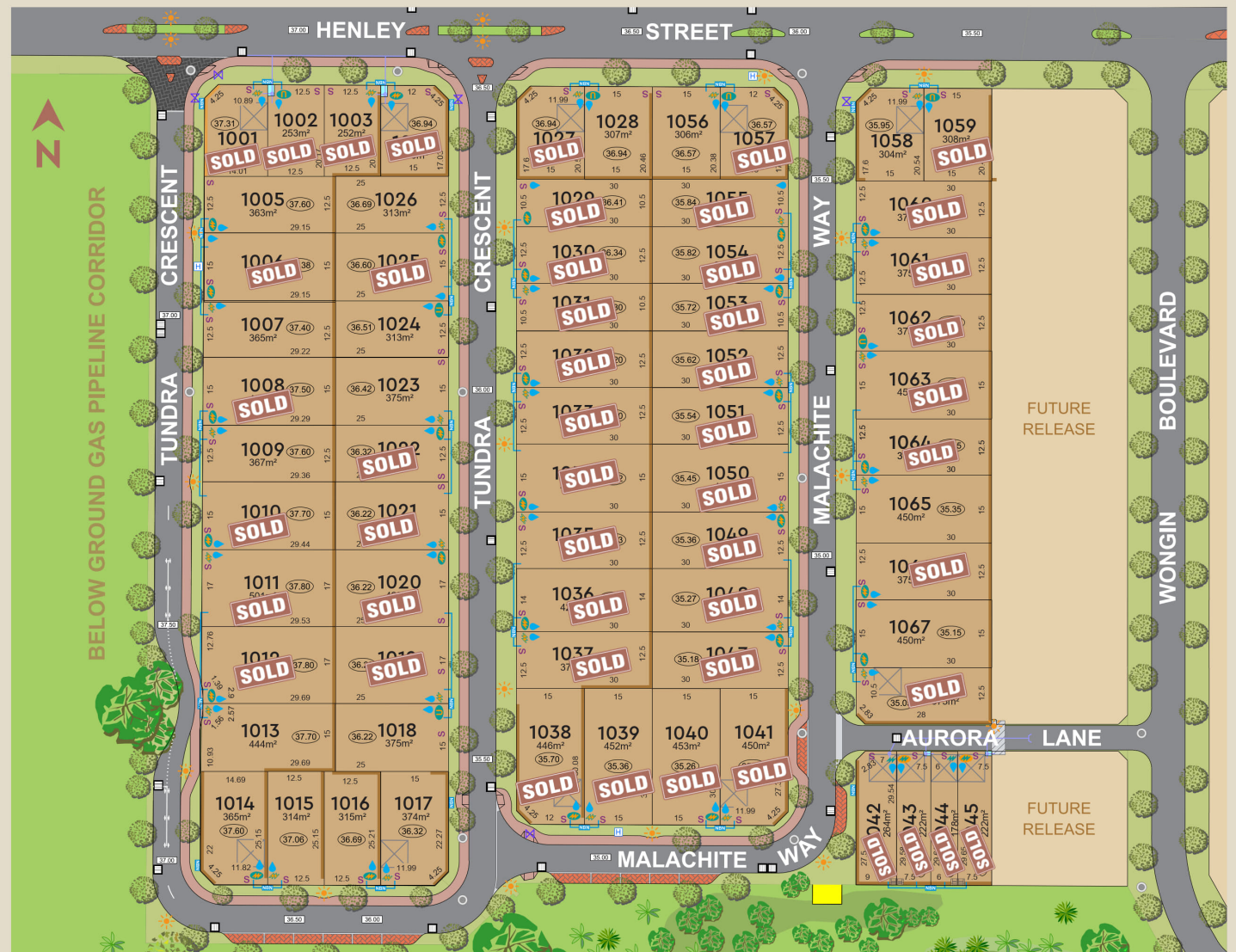
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THE BROOK STAGE 10

HENLEY BROOK LAND SALES CENTRE
Wongin Park, 39 Mulberry Crescent,
Henley Brook, WA, 6055



- Current Release
- Future Release
- Existing Release
- Brick Paving
- Two Coated Sealed Road
- Mandatory Garage Location
- Street Light
- Transformer Site
- Western Power Mini Pillar & Connection
- Western Power Uni Pillar & Connection
- Below Ground Service Pit & Connection
- Shared Drainage Pit & Easement
- Footpath
- Retaining Wall
- 1.8m Masonry Wall
- 1.8m Masonry Wall with Toodyay Stone
- Sewer Connection
- Sewer Connection
- Drainage Gate
- Water Connection
- Water Hydrant
- Water Valve
- NBN Connection
- Lot Level
- Road Level
- Side Entry Pit

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The information shown on this plan has been prepared with care, however it is subject to change and cannot form part of any offer or contract other than to identify the lot number and location of the block being purchased. Whilst all reasonable care has been taken to prepare this information, the Seller or its representatives and agent cannot be held responsible for any inaccuracies. *Proposed living stream final designs are subject to relevant approvals. Timings and outcome are outside of Mirvac's control and subject to change and delay. Purchasers should make their own enquiries as to what approvals are yet to be given. Purchasers must be sure to undertake their own independent enquiries. Lot information is subject to survey, Title Office and regulatory approval. Produced December 2024.

