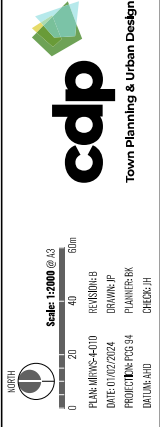




CITY OF SWAN  
**APPROVED LOCAL DEVELOPMENT PLAN**  
This plan relates to the approval to commence development dated:  
15 Feb 2024  
No.: 1 of 2  
Ref.: LDP/122023

**Jonathan Lendich**  
DELEGATED OFFICER  
STATUTORY PLANNING

Unit 2, 464 Murray Street  
Perth WA 6000  
(08) 6333 1888  
info@cdpaus.com.au  
www.cdpaus.com.au  
**cdp**  
Town Planning & Urban Design



# LOCAL DEVELOPMENT PLAN

Stage 8 - Iluma Private Estate Page 1 of 2  
A Mirvac Project



**LEGEND**

- RESIDENTIAL R25
- RESIDENTIAL R40
- RESIDENTIAL R60
- INDICATIVE BM PAD LOCATION - SUBJECT TO CIVIL DESIGN
- UNIFORM - ESTATE FENCING
- DESIGNATED GARAGE LOCATION
- UPPER FLOOR - PACKAGE A
- GROUND FLOOR - STANDARD CONSTRUCTION
- UPPER FLOOR - PACKAGE B
- GROUND FLOOR - PACKAGE A
- UPPER FLOOR - PACKAGE C
- GROUND FLOOR - PACKAGE A

**LOCAL DEVELOPMENT PLAN PROVISIONS**

**RESIDENTIAL DESIGN CODE VARIATIONS**

The development standards contained in the Local Development Plan (LDP) apply in addition to those development requirements of the Local Planning Scheme No. 17 (LPS 17) and any relevant planning policy effective under LPS 17.

Where a development standard is specifically stipulated within this LDP, that standard prevails over the requirements of the R-MD Codes, the R-Codes and any other requirements of LPS 17. The requirements of the R-MD Codes, the R-Codes and LPS 17 shall be satisfied in all other matters.

The LDP provisions apply to those lots identified within the Local Development Plan boundary.

The density code for each lot is as per the prevailing R-Codes Plan.

1. SETBACKS

	Provisions
a) Public Open Space (POS) Frontage	i. Minimum 3.0m to main building line. ii. Minimum 2.0m to an alfresco, verandah and/or balcony. NB. No average setback is required to the POS frontage.

2. BUILDING FORM & ORIENTATION

	Provisions
a) Dwelling Orientation (POS Frontage)	Dwelling designs fronting the POS shall include: i. An articulated elevation with at least one major opening to a habitable room; and ii. An outdoor living area (i.e. alfresco, balcony and/or verandah).

3. UNIFORM FENCING

a) Uniform fencing is provided along the frontage of Public Open Space lots as shown on the Local Development Plan. Fences abutting the lot boundaries adjoining public open space shall be visually permeable. Where a side lot boundary adjoins public open space, fencing is to be visually permeable to a minimum of 3.5m from the front and rear boundary.

4. VEHICULAR ACCESS & GARAGIS

a) Designated garage locations apply to lots identified on the Local Development Plan. Designated garage locations do not prescribe boundary walls but reference the side of the lot to which the garage must be located.

5. NOISE MANAGEMENT

a) Building applications submitted for lots requiring noise attenuating construction standards must demonstrate compliance with 'Quiet House Design Package A' (as illustrated) as described under Part 4 of the Implementation Guidelines for *State Planning Policy 5.4 – Road and Rail Noise (MAPG 2019)*, as amended. This shall be demonstrated by written confirmation received from a licensed building surveyor that the design complies with all the design requirements for the relevant Quiet House package.

j) Where a design does not fully comply with the listed Quiet House design requirements:

The Building application is required to include written advice from a suitably qualified acoustic consultant, confirming that the design will meet the target noise levels as stipulated in State Planning Policy 5.4, to the satisfaction of the City of Swan.

c) Where two-storey development is proposed on lots requiring Quiet House Package A (as shown):

The Building application is required to include written advice from a suitably qualified acoustic consultant, confirming that the design will meet the target noise levels as stipulated in State Planning Policy 5.4, to the satisfaction of the City of Swan.

d) Note that the Quiet House Packages (as at 2019) include requirements for the location of Outdoor Living Areas. Outdoor Living Areas are as prescribed in the Residential Design Codes (including provisions for size and dimensions).

Quiet House A	At least one outdoor living area located on the opposite side of the building from the transport corridor and/or at least one ground level outdoor living area screened using a solid continuous fence or other structure of minimum 2 metres height above ground level.
Quiet House B	At least one outdoor living area located on the opposite side of the building from the transport corridor and/or at least one ground level outdoor living area screened using a solid continuous fence or other structure of minimum 2.4 metres height above ground level.

Note on Acoustic Consultants: State Planning Policy 5.4 provides guidance as to what comprises a "suitably qualified" acoustic consultant.

6. OTHER

a) Lots 893 – 898: Designated 1.5m x 1.0m bin-recess areas shall be provided within the available laneway setback area; this may be provided in front of the garage door where lot width restrictions apply.

b) Survey Strata Lots 1 – 13: Designated bin-pad locations are located adjacent to the Aquila Crescent driveway entry.

CITY OF SWAN  
**APPROVED**  
**LOCAL DEVELOPMENT PLAN**  
 This plan relates to the approval to commence development dated:  
 15 Feb 2024  
 No.: 2 of 2  
 Ref.: LDP12/2023

**Jonathan Lendich**  
 DELEGATED OFFICER  
 STATUTORY PLANNING

Scale: 1:2000 @ A3

0 20 40 60m

PLAN: MINS-H-10  
 DATE: 01/07/2024  
 PROJECT: NS-PCS 34  
 DALLAN-ND

REVISION: B  
 DRAWING: B  
 PLANNER: BK  
 CHECKS: JH

Unit: 2, 464 Murray Street  
 Perth WA 6000  
 (08) 6333 1888  
 info@cdpaus.com.au  
 www.cdpaus.com.au  
**Copyright CDP**. No part of this plan may be reproduced without the written consent of the City of Swan. All other rights reserved in respect of this plan. But no responsibility is taken for any errors or omissions shown on this plan subject to the survey, drawings and specifications shown on the plans and any amendments thereto.

**cdp**  
 Town Planning & Urban Design

**iluma** PRIVATE ESTATE

**mirvac**

**LOCAL DEVELOPMENT PLAN**  
 Stage 8 - Illuma Private Estate Page 2 of 2  
 A Mirvac Project